

BLOCK D

LOT 8, 37-39 HILL ROAD WENTWORTH POINT

DEVELOPMENT APPLICATION
DESIGN REPORT
PREPARED FOR HOMEBUSH BAY PROPERTIES
DOCUMENT NO. S12088A-001

REVISION C
NOVEMBER 2018

CLIENT

Homebush Bay Properties Pty Ltd

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1.0

INTRODUCTION

Our vision is to create a new residential community with a strong connection to place.

Views across Homebush Bay are welcomed into the building. The stepped and faceted building form maximises view access and an active roofscape whilst ensuring good solar access to the communal outdoor space.

DEVELOPMENT SUMMARY

Site Area 9,044m²

Residential Floor Space

Excluding both lobbies and corridors :	19,283m ²
Excluding lobbies, including corridors :	20,216m ²
Including both lobbies and corridors :	20,792m ²

Residential Mix

Dwellings	207 units
Comprising	38 one bedroom apartments
	120 two bedroom apartments
	41 three bedroom apartments
	8 three bedroom townhouses

Car Parking

Car spaces:	286 spaces
Bicycle spaces:	223 spaces

Car Parking level 01	3,513m ²
Car Parking L00 and below	6,579m ²

This Design Report has been prepared by Bates Smart on behalf of Homebush Bay Properties Pty Ltd and forms part of a Development Application to be submitted to Parramatta Council.

It describes the proposed urban design, landscape and architectural response for a site known as Block D, Lot 8 37-39 Hill Road Wentworth Point.

The proposal has been developed with consideration to the Stage 1 Masterplan (DA 19/2015) Section 96 building envelopes, the Homebush Bay West DCP and its associated Amendment No 1.

In summary the development proposes:

- / An eight storey apartment building divided into two elements
- / 8 two storey townhouses primarily accessed from the new foreshore
- / A combined split level car park with one level of below ground basement

/ Ground level landscaped spaces including a central communal courtyard and landscaped setbacks to all streets

We confirm that Guy Lake of Bates Smart directed the design of the enclosed Development Application and that Mr Lake is registered as an architect in accordance with the Architects Act 1921.

We confirm that in our professional opinion the proposed design is capable of achieving the design principles set out in State Environmental Planning Policy 65 – Design Quality of Residential Flat Development and has been designed with regard to the publication Apartment Design Guide (ADG).

2.0

SITE + CONTEXT

2.1 SITE LOCATION

The site is known as Block D, 37-39 Hill Road (Lot 8) Wentworth Point and together with a separate Infrastructure Development Application forms the first phase of the Stage 1 Masterplan Development Approval (DA 19/2015) and the subsequent Section 96 Application.

Block D is a rectangular parcel of land covering 9,044m² which faces the foreshore of Homebush Bay. It will be bound on three sides by new roads, Marine Parade to the northwest, Verona Drive to the northeast and a new foreshore access road. To the southwest of the site will be a new public park which is part of the approved Lot 18B, 6-8 Baywater Road development.

Within the wider context the site benefits from Millennium Parklands to the northwest, Homebush Bay and Bennelong Bridge with its important connection to Rhodes for pedestrians, cyclists, buses and emergency vehicles.

Southwest of the site is predominantly existing apartment buildings and to the northeast a mixture of newly completed apartment/mixed use buildings and development sites.



2.2 SURROUNDING CONTEXT

Lot 8 currently has three tenanted warehouses, at grade car parking and internal driveways. There are no significant trees or heritage assets within the masterplan site boundary. There is a slight fall toward the waterfront. The PMF (Possible Maximum Flood Level) is RL 2.15m and will affect the eastern portion of the site. Generally the ground conditions are poor after years of industrial use and initial reclamation. Further information on both flooding and ground conditions can be found in the detailed reports as part of this application.

Nuvolari Place is faced with two existing buildings, No 6 and No 9-19, both are residential blocks of 8 storeys. Lot 18A and 18B are currently warehousing. Lot 18A has permission to build a predominantly 8 storey perimeter block on a two storey podium, with a tower of 17 storeys on the south west corner. Lot 18B has permission to build a 'U' shaped perimeter block of 8 storeys (on a two storey podium), the building steps down to six storeys on the waterfront, with a waterfront building at 4 storeys. Lot 18B approval includes a public park at the termination of Nuvolari Place.

Directly to the northeast, Lot 9 has a series of mixed use buildings which have recently been completed or are under construction. Facing Lot 8 the street wall created is 8 storeys, stepping down at Lot 9D to a waterfront building height of 4 storeys. Lot 9B has a 27 storey tower in the north east corner of the block and Lot 9C has a 20 storey tower in the south west corner of the block. Between Lot 9C and Lot 9D a pedestrian link rises approximately 2 storeys over the joined car parking podium.

 Approved not yet built



Lot 18A Approved Design



Lot 18B Approved Design



PICTURED

- 1/ Aerial foreshore context
- 2/ Lot 9D foreshore looking toward Bennelong Bridge
- 3/ View from site over Homebush Bay to Rhodes
- 4/ Lot 9D viewed from site
- 5/ Pedestrian link between Lot 9C and Lot 9D
- 6/ Lot 9C future corner of Verona Drive and Monza Boulevard
- 7/ Lot 9D pedestrian level future Verona Drive



2.3 MASTERPLAN CONTEXT

In 2015 a Stage 1 Development Approval (DA-19/2015) for Lot 8, 37-39 Hill Road was granted by the then Auburn Council. This consent had been approved prior to the introduction of the SEPP65 Apartment Design Guide (ADG), with which all further detailed applications will have to comply. As such a Section 96 Submission has been made to amend the approved envelopes to ensure compliance with the ADG and to improve the urban design outcome of the masterplan. The masterplan key principles are outlined below.



DEVELOPMENT LOTS & DCP SET BACKS

As defined in the DCP, the prescribed road grid and hierarchy divides the lot into four blocks. DCP setbacks are applied, 8m to Hill Road, 5m to the primary streets, 3m to the secondary streets. The Block D building set back on foreshore side is aligned with Lot 9D at 30m.



URBAN STREET WALL & PARK POSITION

The street wall is defined with perimeter blocks of appropriate width, and a maximum 2 storey podium base. Block D is opened into a 'U' shape to address the water.

Block B public park is positioned in the eastern corner of the block to maximise opportunities for connection to ground floor uses and to allow building form to define the open space.



VISUAL LINK

A visual link through the blocks breaks down building scale and creates an implied connection.



PROPOSED MASSING

The proposed massing provides varied and dispersed building heights and setbacks to create an interesting, dynamic urban form that respects the principles set in the DCP. Building heights range from 2 storeys alongside the foreshore to 8 storeys adjacent to Hill Road, 8 storeys on Marine Parade overlooking the water and 8 storeys overlooking the new public park. The position and stepped height of the two towers creates a permeable and varied sky scape.

2.4 MASTERPLAN DESCRIPTION

The masterplan is designed to complement the existing and approved built fabric whilst providing a variety of opportunities for diverse, active streets, vibrant and varied public outdoor spaces and for added community value within a strong urban framework.

The public domain extends and enhances the existing streets and proposes a new public park and foreshore. The streets have a clear hierarchy and varied character.

Each block has an individuality, established from its position within the urban framework, height variation, adjacent street hierarchy/character, and location.

Block B is the commercial, retail and community centre of the masterplan. The built form is used to define and activate the public park and create a permeable and accessible hub.

Block D opens to the water and views. Stepping back from the foreshore reduces overshadowing impact on the foreshore and

provides opportunity for an active and varied roof scape.

The towers located in Block B and Block C have been thoughtfully positioned to maximise views and solar access, and to enhance the sky scape.

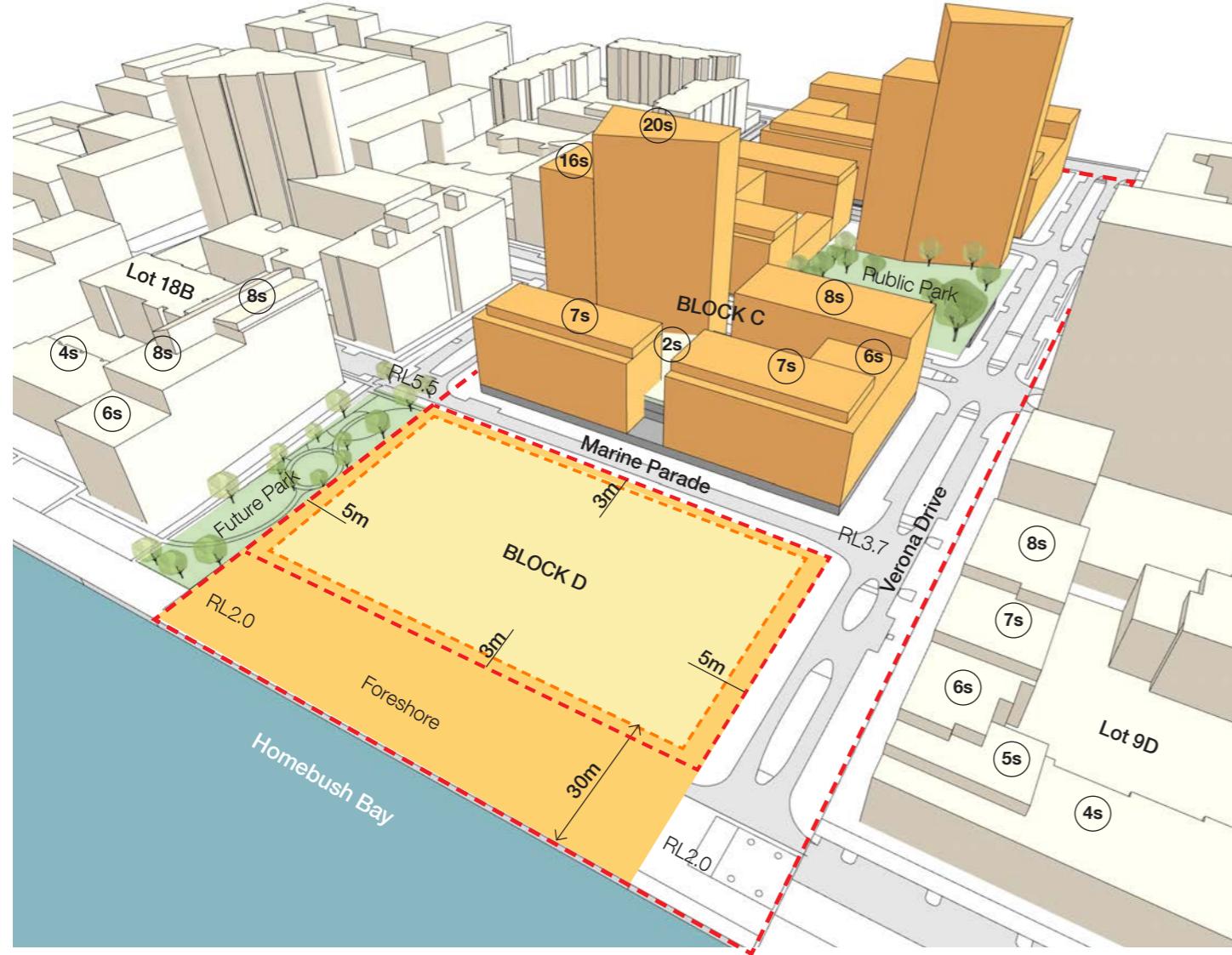


Waterfront design indicative. Refer to Stage 1 Section 96 Landscape Report for up to date information.



Waterfront design indicative. Refer to Stage 1 Section 96 Landscape Report for up to date information.

2.5 SITE CONTEXT



SITE+ MASTERPLAN CONTEXT

Compliant with the DCP set backs, Block D sits 30m back from Homebush Bay, 5m back from the Future Park to the southwest and Verona Drive to the north east. The Marine Parade set back is 3m.

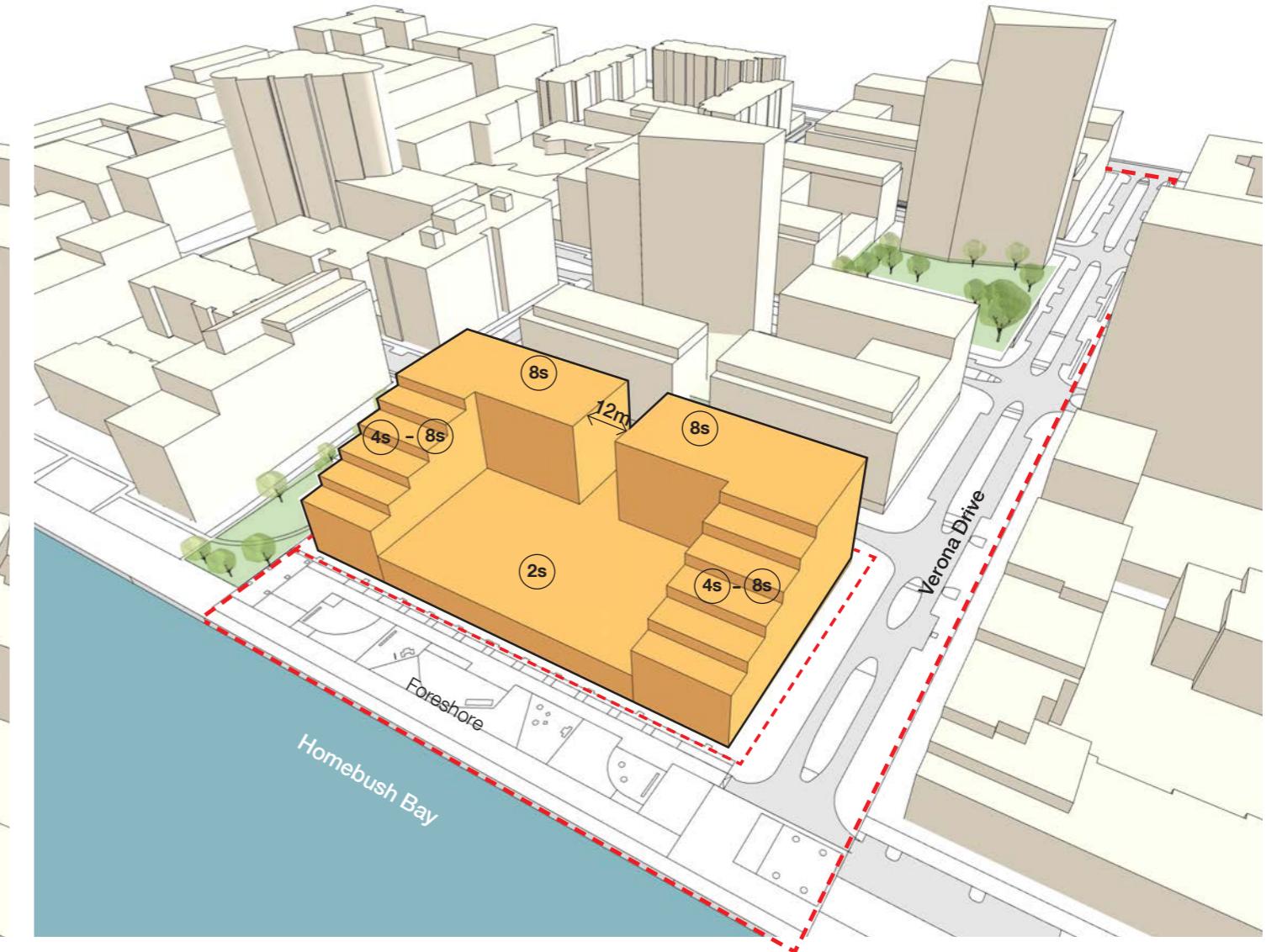
To the other side of Marine Parade, Block C masterplan envelopes create a 6 storey street wall with a set back 7th floor.

The existing Lot 9D building has a 4 storey massing to the foreshore stepping back up Verona Road to 8 storeys. The approved building on

Lot 18B has a 4 storey podium facing the foreshore with a 6-8 storey massing facing the Future Park.

The site slopes from the southwest corner at RL5.5 to the foreshore at RL2.0, this ties in with the existing levels set by the adjacent sites.

The Probable Maximum Flood level (PMF) is RL 2.15, which effects a strip of approximately 8m along the southeastern boundary of the site.



MASTERPLAN ENVELOPES

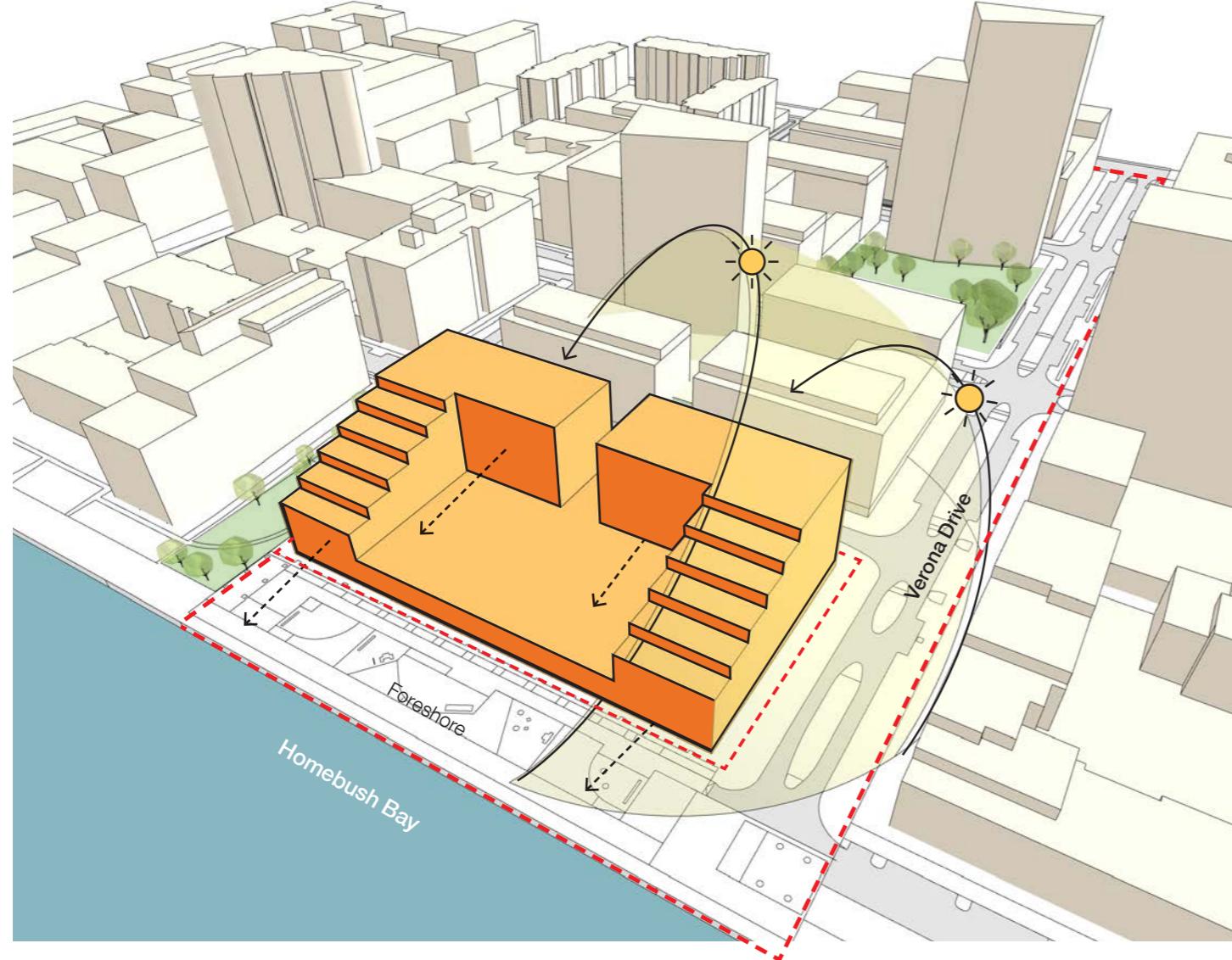
The masterplan envelopes for Block D propose two 8 storey buildings facing Marine Parade divided by a 12m wide visual link which is continuous through the masterplan. These buildings step down from 8 storeys to 4 storeys on the foreshore and sit on a 2 storey podium comprised of car parking and residential facing the water.

Principle 1: Context and neighbourhood character

Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.

Responding to context involves identifying the desirable elements of an area's existing or future character. Well designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood.

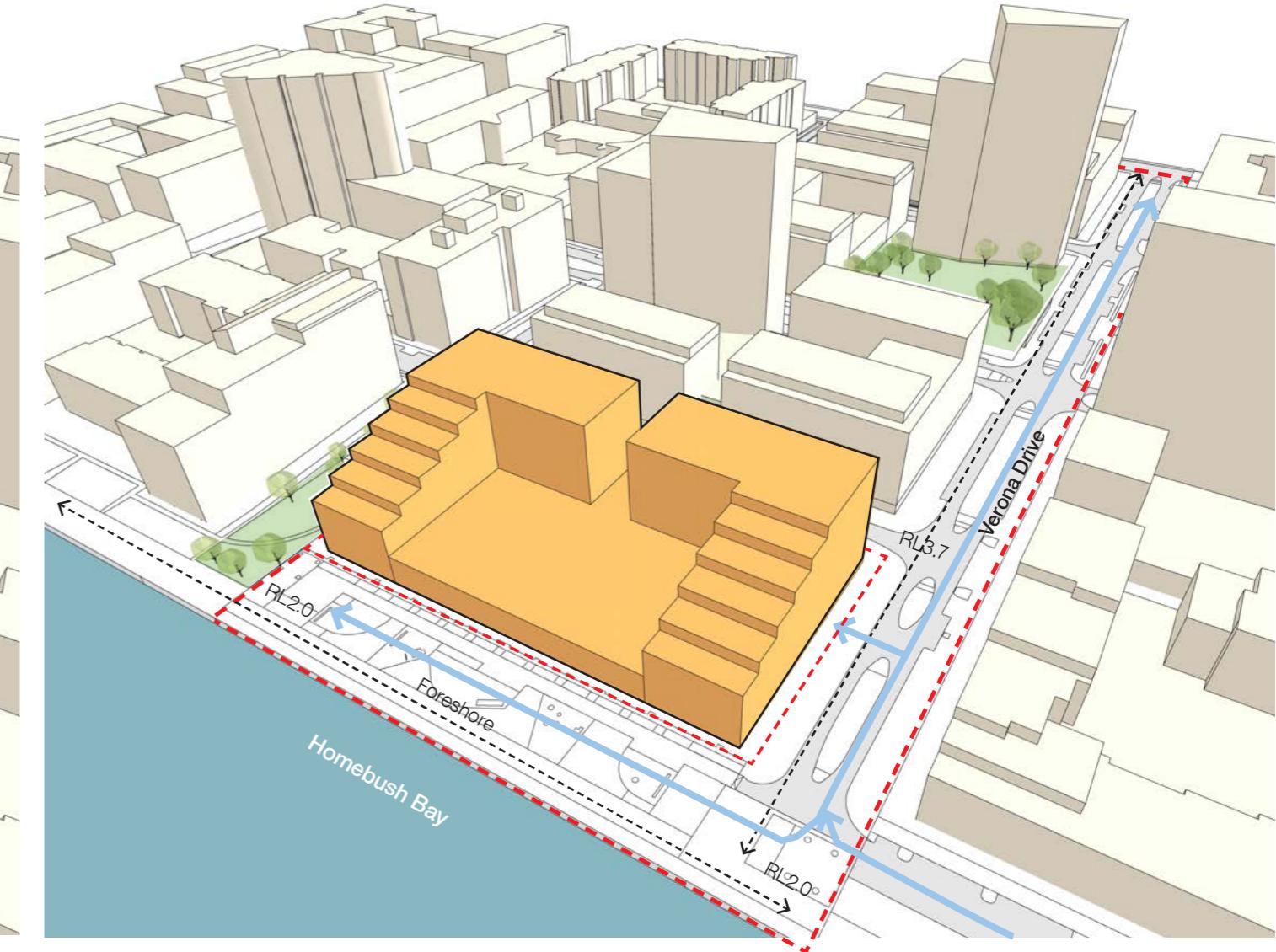
Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.

**SOLAR ACCESS + VIEWS**

The site benefits from excellent views to the southwest over Homebush Bay to Rhodes, with closer outlook of the proposed landscaped foreshore and the Future Park.

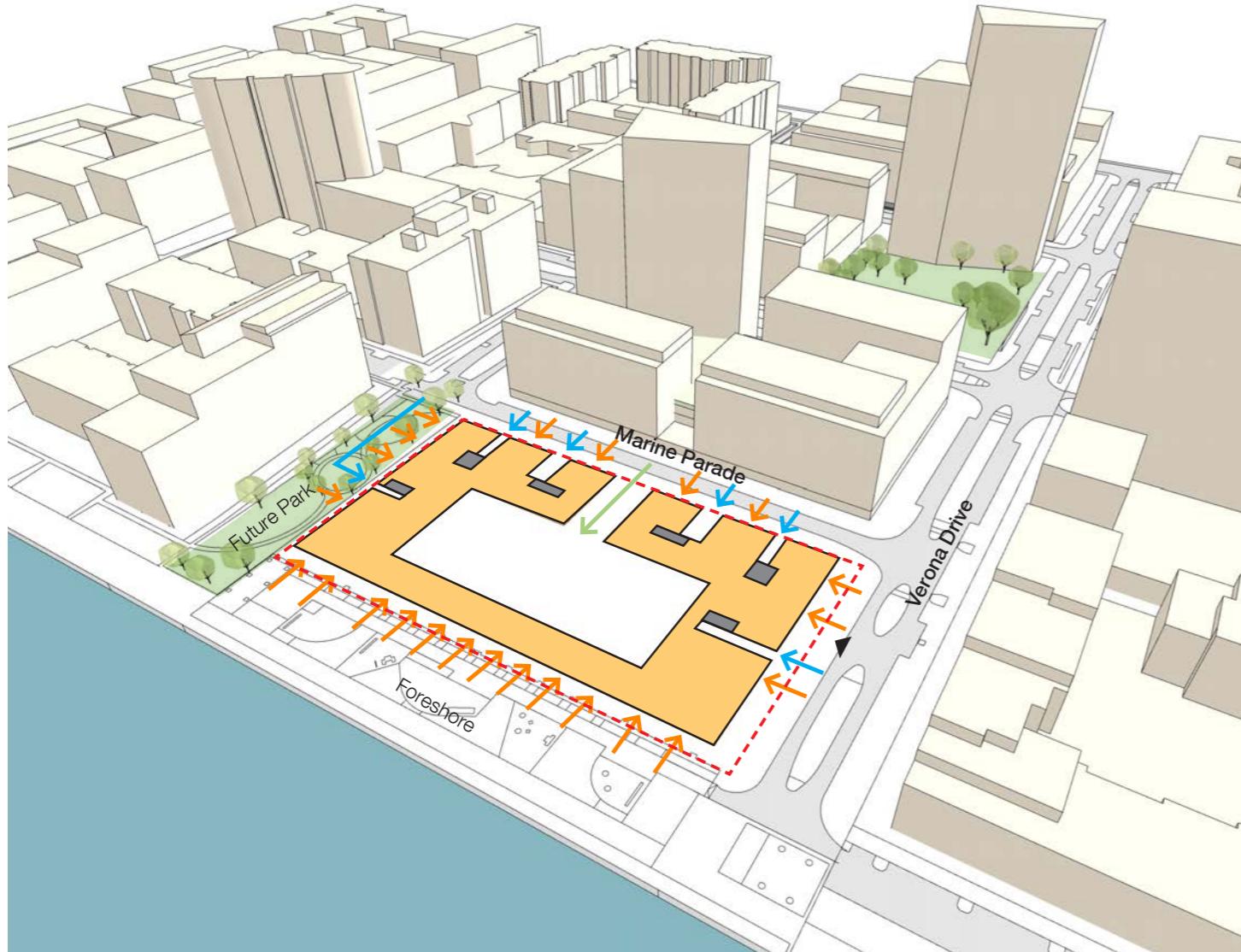
Marine Parade is angled 36 degrees off true north. This determines that when aligned with the streets the southwest and southeast facing facades do not receive 2hr solar access mid winter. The northeast and northwest facades receive good solar access.

By stepping the building away from the waterfront the masterplan has ensured good solar access to the Level 02 podium and to the foreshore.

**ACCESS+CONNECTIVITY**

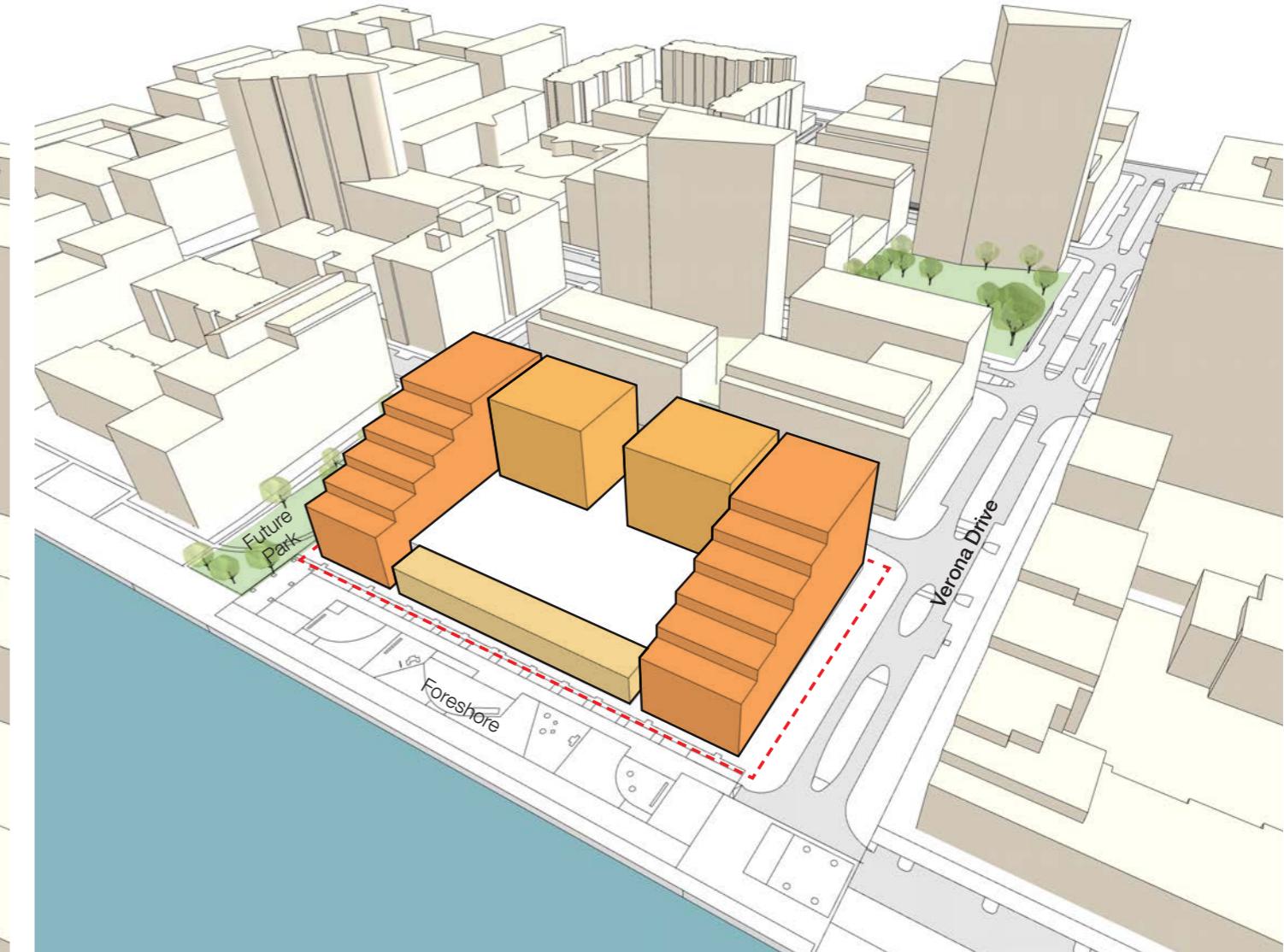
Primary vehicular access is via the new Verona Drive, the basement car and service entrance has been positioned toward the lower end of the site, reducing impact on the street scape. The masterplan proposes a new public waterfront road for improved access to the foreshore and street addresses for ground floor residential. Significant pedestrian and cycle routes along the foreshore promenade and Verona Drive are encouraged.

3.0 DESIGN CONCEPT



CORE + ENTRIES

Multiple communal apartment entrances and individual ground floor apartment front doors maximise street activation. A pedestrian link for residents is provided between Marine Parade and the common open space located at podium level.



ENVELOPE ARTICULATED INTO ELEMENTS

The prescribed masterplan envelopes are broken down into elements. They are divided with consideration to orientation and street wall articulation.

- / Two blocks parallel to Verona Drive and the Future Park
- / Two blocks on Marine Parade
- / 2 storey foreshore element

- ◀ Apartment entry
- ◀ Ground floor residential entry
- ◀ Carpark entry
- ◀ Pedestrian podium entry

Principle 2: Built form and scale

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

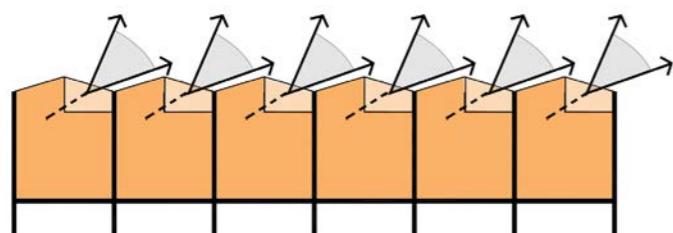
Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.

**VIEW ACCESS**

Improved view access for apartments situated perpendicular to Homebush Bay is achieved by the faceted façade.

**BUILDING BASE**

Introduction of a 2 storey building base creating a clear street interface, increased sense of solidity through masonry materiality and breaking down vertical building scale. Articulation of the foreshore element expresses individual townhouses.



**MARINE PARADE BLOCK**

Building base materiality brought up into Marine Parade blocks. A setback upper level is introduced.



Waterfront design indicative. Refer to Stage 1 Section 96 Landscape Report for up to date information.

4.0

PROJECT DESCRIPTION

4.1 OVERVIEW

Block D is primarily a 'U' shaped block facing Homebush Bay. It steps from 8 storeys above Marine Parade to 4 storeys on the waterfront and is divided into two halves, centred on the consistent 'visual link' mandated in the proposed masterplan. The block sits on a split level, 2 storey car park podium which is sheathed in residential use.

The building is expressed as a series of objects using a related yet distinct architectural language and façade treatment. Firstly the faceted, glassed façade is assigned to the blocks perpendicular to the water, and secondly a masonry recessed language assigned to the Marine Parade elements, the foreshore townhouses and the building base.





SECTION AA



4.2 LEVEL 00

The site slopes from RL5.5 at the corner of Marine Parade and Nuvolari Place to RL2.0 on the foreshore, hence the ground plane is divided over two levels. These are referred to as Level 00 and Level 01.

Access to the site has prioritized pedestrians over vehicles. Vehicle and service access is via Verona Drive, with ramp access directly to the basement level. The car park access gates and substation enclosure are integrated into the facade and the units above are protected by an awning.

Four upper level apartment entrances are located on Marine Parade and these service the highest levels of the development.

Two further apartment entrances are located on Verona Drive and adjacent to the Future Park. These serve levels 00 to 05. Apartments at ground level benefit from both direct front door access to the street and internal corridor access from the common entrances and car parking levels.

All apartment entrances are accessible and provide an accessible route to the lift cores, common open space at Level 02 and upper residences.

Apartments at ground level are raised above the foot path by approximately 1.2m, this helps provide privacy but also ensures an active and passively surveilled street.

All building entrances, ground floor residential levels and the car park entry are above the PMF of RL2.15m.

Block D benefits from its position in the masterplan, with direct access to the proposed foreshore public open space and the future park in the adjacent lot.

A temporary path in the southern setback provides access to the southern core until such time as the park on the adjacent lot is delivered.

*Principle 7: Safety
Good design optimises safety and security within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.*

A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.





4.3 LEVEL 01

Central to Marine Parade a landscaped cascading stairway ascends to the communal outdoor space between the break in the building massing above which provides the visual link through the masterplan.

Along the waterfront a series of 3-bed two storey townhouses wrap the podium edge and are positioned between the arms of the stepped building form. The townhouses are raised off the foreshore by 1.2m and are provided with independent street access. A landscaped buffer to the street ensures privacy. Living rooms are located on the upper level allowing views and surveillance over the foreshore to the bay. Additional solar access and cross ventilation to these units is via a rear courtyard and clear-story above the living space. Individual garages are accessed directly off the rear courtyards at Level 01.





Waterfront design indicative. Refer to Stage 1 Section 96 Landscape Report for up to date information.

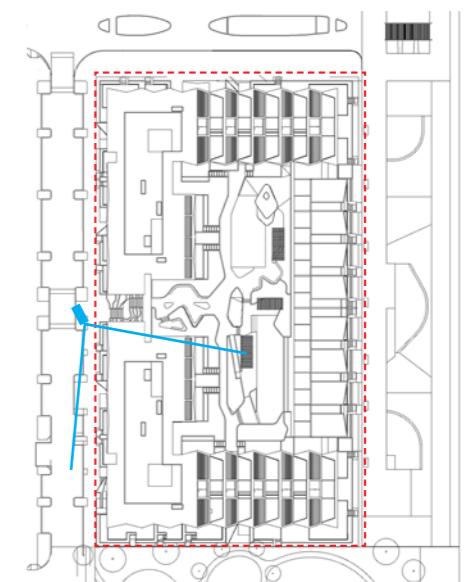
4.4 APARTMENT ENTRIES + STREET INTERFACE

Ground floor apartments are set back behind two levels of landscaping and a palisade balustrade. Privacy between private out door spaces are maintained by inset terrace areas and extensively planted buffer zones. Further information on the landscape strategy can be found in the separate Landscape Design Report. Individual front door access from the street is highlighted by a concrete framed gate with an integrated apartment number. The majority of ground floor apartments benefit from an increased ceiling height.

Communal apartment entrances are signified with a cantilevered canopy, and where possible a double height lobby space. A feature off form concrete planter, provides an added entrance signifier with the opportunity for distinctive planting and signage.



MARINE PARADE STREET INTERFACE

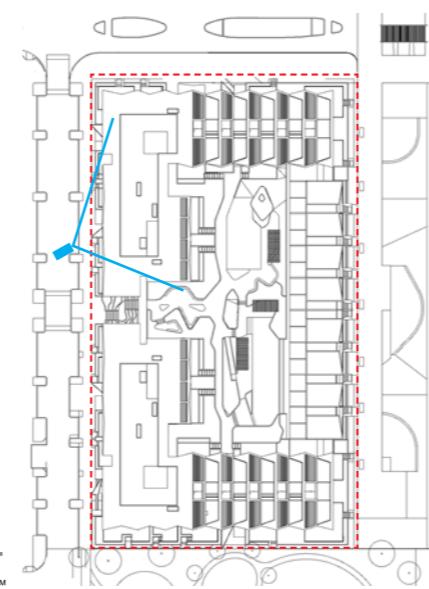




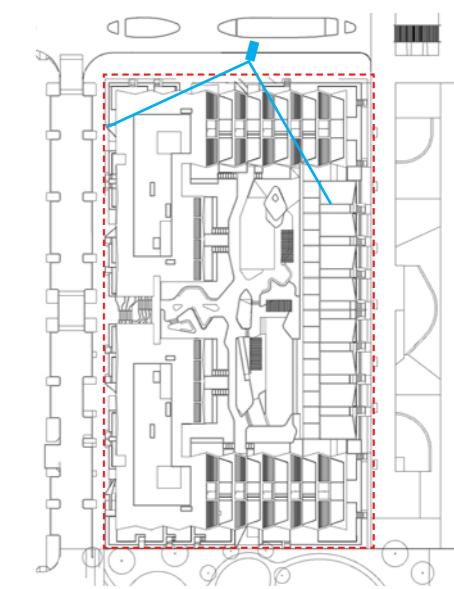
MARINE PARADE APARTMENT ENTRANCE



VERONA DRIVE APARTMENT ENTRANCE



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4.5 APARTMENT FLOOR LEVELS 02-03

At Level 02 the 'U' shape of the building form becomes apparent, the central car parking podium area is replaced with communal open space bounded by apartments and open to Homebush Bay.

The six cores contain a lift, an egress stair, a waste chute, recycling bin room and associated services. The adjacent lobbies have access to natural light and ventilation. Any typical core has a maximum of eight apartments at any one level. Cores are situated on the southern and eastern side of the corridors to maximise solar access to the apartments.

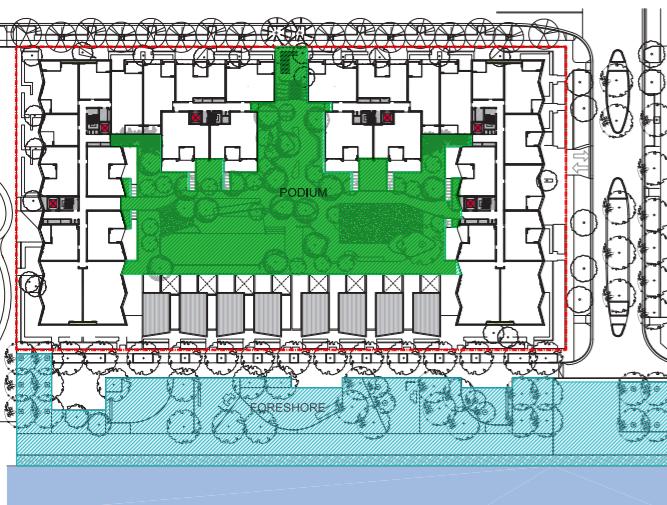
At Level 02 there is a connection between two of the cores. This alleviates the need to access the podium communal outdoor area via the internal corner of the building. Apartments 208, 214, 219 and 225 situated in the internal corners benefit as their private outdoor space is not directly adjacent to the communal open space access.

The communal open space is restricted to resident and visitor use, as such access from the podium level to the public foreshore would be via one of the eastern lift cores. These are approximately 30m setback from the public open space of the waterfront.



COMMUNAL OPEN SPACE DIAGRAM

At Level 02 podium 2,265m² is provided as communal open space. This equates to 25% of the site. Residents will benefit from a pool (with changing rooms and an accessible WC), BBQ area and landscaped amenity zones.





4.6 APARTMENT FLOOR LEVEL 05

Level 05 comprises two 3-bed apartments, twenty two 2-bed apartments and four 1-bed apartments. Of these eight are cross-through 2-bed apartments situated between the cores. The larger 3-bed unit types are positioned to the east, taking advantage of the large terraces and bay views.

Levels 05-08 step back from the waterfront on a regular 7.5m grid. Each step back provides generous terraces overlooking the bay with planting, and pergola protection from the elements.

The two most eastern lift cores finish at Level 05 with apartments above serviced from the corner cores.



4.7 APARTMENT FLOOR LEVEL 06

Apartment layouts have been carefully designed to minimise overlooking, but to maximise view access. Primary view access is always away from adjacent apartments, however where secondary outlook or cross ventilation is within the required building separation distances fixed louvres ensure overlooking is eliminated.

One of the key principles within the masterplan is a centralized visual link through all of the blocks. This principle has been upheld. The masterplan envelopes have a 12m wide separation in buildings, here in Block D we have a minor encroachment of this separation. This encroachment has been driven by a number of factors; containment of the communal area, a consistent Marine Parade street wall, articulation of form and view access for apartments. We have balanced the area of encroachment with additional separation to the east. See below for details.

MASTERPLAN ENVELOPE ENCROACHMENT

- Stage 1 Section 96 Envelope
- Area of outside of envelope 47m²
- Area of reduction within envelope 49m²



4.8 AMENITY

Apartments have been arranged to maximise the number of dwellings with access to direct sunlight and opportunities for natural cross ventilation.

Solar Access

A total of 70% of dwellings will receive at least 2 hours direct sunlight to their balconies and living spaces between 9am and 3pm on the winter solstice. The relevant apartments are identified on drawing A40.000 and tabulated below.

Cross Ventilation

A total of 60% of dwellings have windows facing in more than one orientation and are deemed to be naturally cross ventilated. The relevant apartments are identified on drawing A40.000 and tabulated below.

Level	Apartments achieving 2hrs solar access	Apartments achieving cross ventilation	Total Apartments
8	12	12	12
7	16	16	20
6	16	14	24
5	19	20	26
4	21	20	28
3	18	20	30
2	17	16	30
1	21	4	21
G	4	3	16
Total	144	125	207

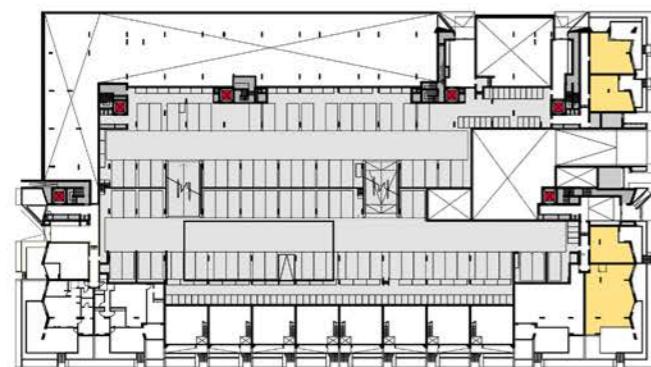


■ Apartments achieving cross ventilation

CROSS VENTILATION SUMMARY

Principle 6: Amenity

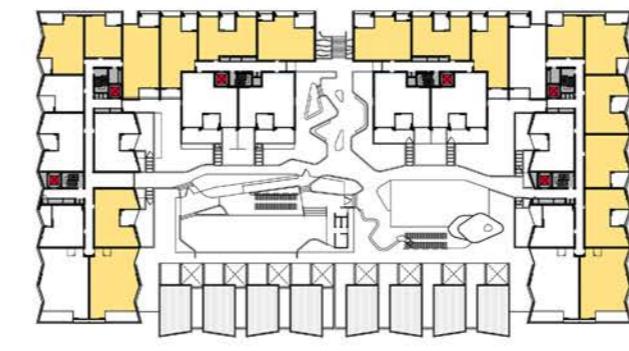
Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being. Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas and ease of access for all age groups and degrees of mobility.



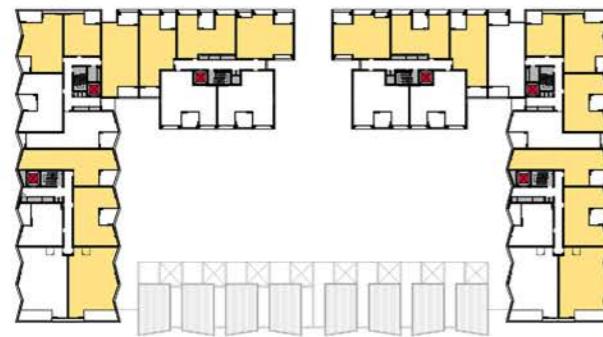
Level 00



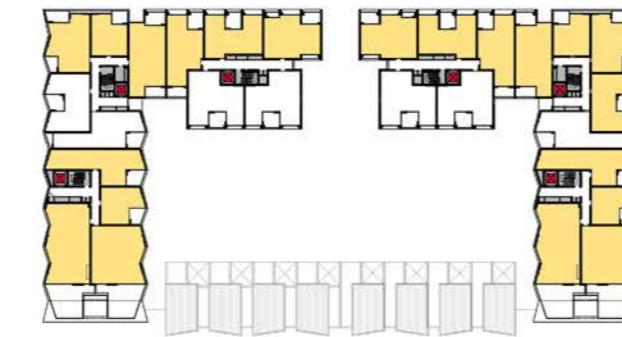
Level 01



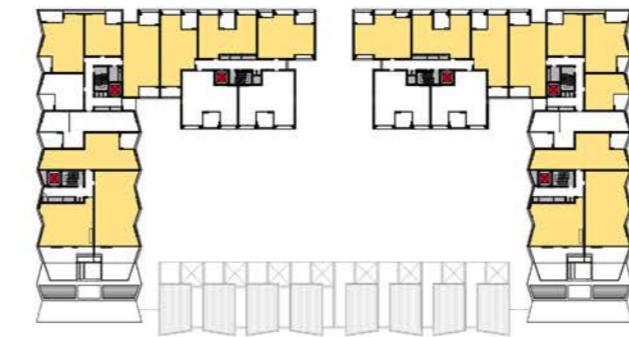
Level 02



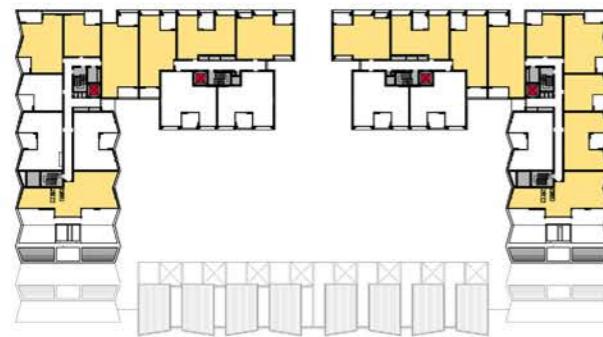
Level 03



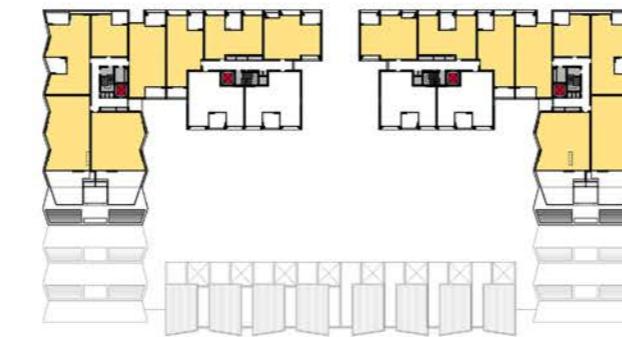
Level 04



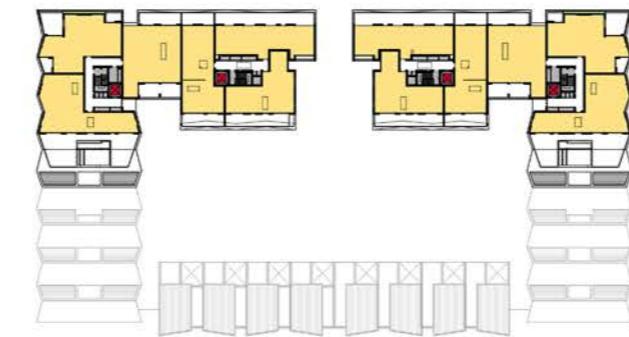
Level 05



Level 06



Level 07



Level 08

Apartments achieving 2 hrs solar access

MID-WINTER SOLAR ACCESS SUMMARY

4.9 APARTMENT FLOOR LEVEL 08

Level 08 steps back on the eastern and western façades providing increased private outdoor space. Deep eaves project beyond the glazing line to provide protection from the elements.

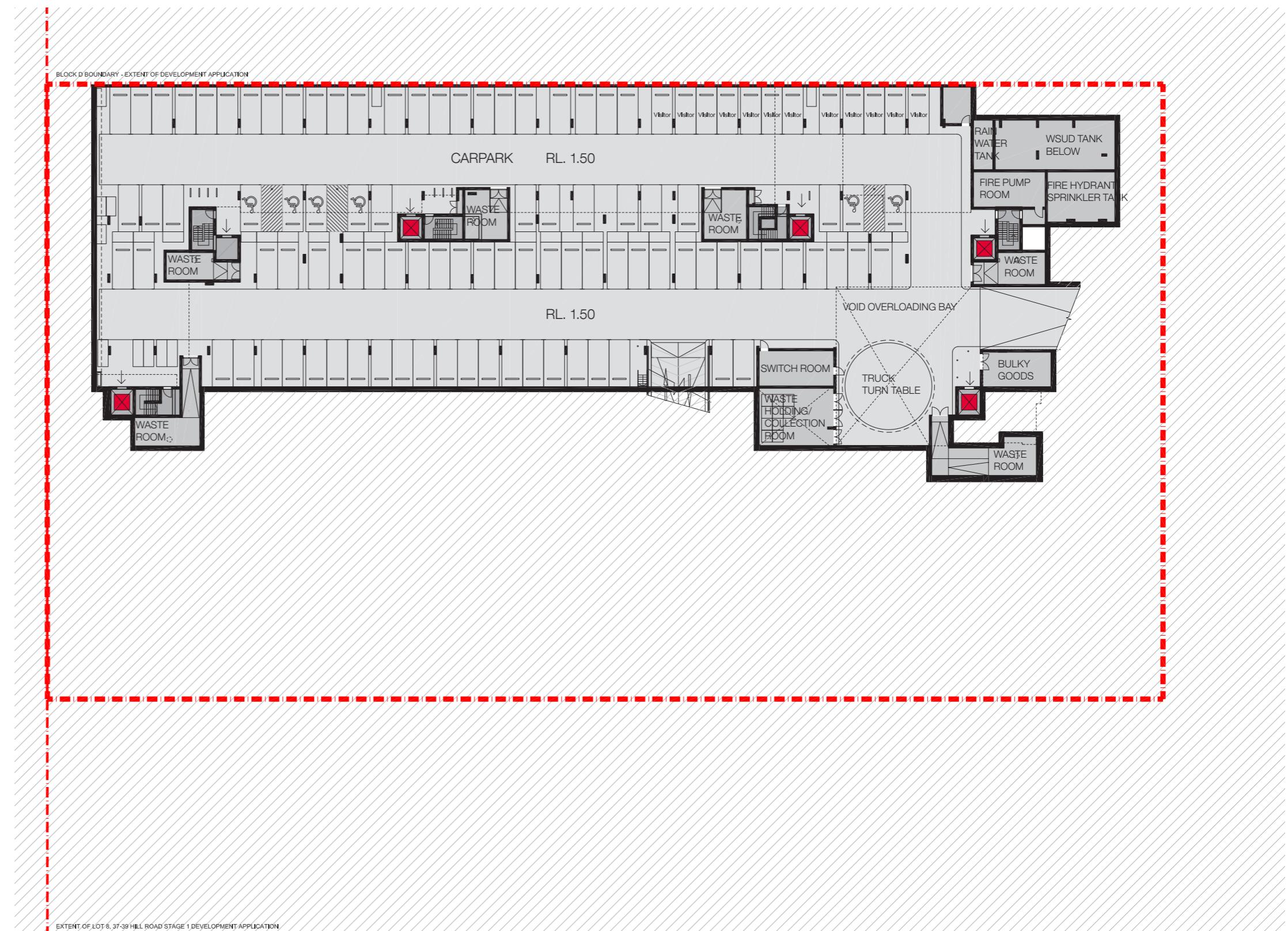


4.10 BASEMENT

The carpark and service entry /exit is accessed off Verona Drive north of the site into Level B1. The split level carpark accommodates a total of 286 car spaces. A breakdown of parking allocation is provided in Section 8.0 of this report.

Level B1 accommodates 103 car spaces including 6 DDA compliant spaces which are allocated to adaptable apartments, 13 visitor car spaces and 5 motorcycle spaces. Level B1 also provides for the waste collection and service area. These areas are described in further detail in Section 9.0 of this report.

Bicycle storage and residential storage is distributed across the car parking levels.



5.0 LANDSCAPE

5.1 LANDSCAPE OVERVIEW

The landscape design for Block D, encompasses two key areas – the podium landscape for communal and private residential use and ground floor street interface.

For all landscape spaces, a focus has been on promoting connectivity, amenity for residents and improving the environmental footprint of the development. A strong reference has been made through all facets of the design, to the endemic landscape of the site including the Homebush Mud Flats, and endemic vegetation system. While this has not been referenced literally, the memory of what once existed has been conveyed through a contemporary landscape approach suitable to a multi-unit residential development.

5.2 PODIUM LANDSCAPE

The podium balances function and amenity with privacy for the buildings residents. All podium level apartments are afforded with a generous private courtyard connected to their living space. They will have a low level planted zone that they are able to customise if desired. The podium itself consists of a communal swimming pool and open turf area. The pool is slightly elevated from the rest of the podium to achieve required swimmable depth but also to create separation, privacy and promote views to the Bay.

The turf area allows residents opportunities for passive and active recreation. A communal seating and BBQ area is located adjacent allowing numerous opportunities to gather and occupy the space. Throughout the podium, several nooks and zones have been created to allow separate places to sit and relax in small and large groups. All spaces direct and celebrate views to Homebush Bay.

The podium landscape steps down from Level 2 to street level via a terraced stair configuration. Large planted troughs alongside the stairs allow opportunities for climbing and spilling plants to soften the level change at the access way.

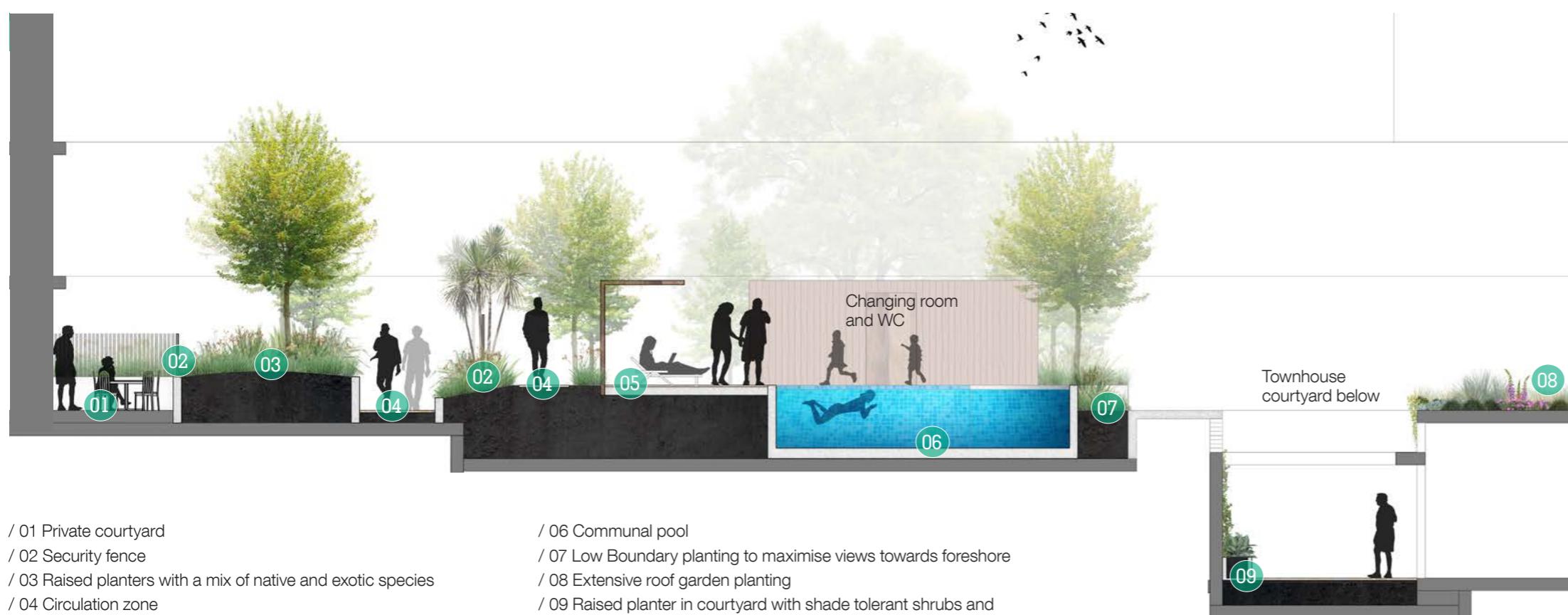




- / 01 Private courtyard
- / 02 Security fence
- / 03 Raised planters with a mix of native
- / 04 Circulation zone
- / 05 Open turn space

- / 06 Stepped timber deck with large feature tree
- / 07 Shade structure with built in table
- / 08 Extensive roof gardens
- / 09 Raised planter in courtyard with shade tolerant shrubs and climbers

Section AA



- / 01 Private courtyard
- / 02 Security fence
- / 03 Raised planters with a mix of native and exotic species
- / 04 Circulation zone
- / 05 Shade structure with lounge seating opportunities around pool

- / 06 Communal pool
- / 07 Low Boundary planting to maximise views towards foreshore
- / 08 Extensive roof garden planting
- / 09 Raised planter in courtyard with shade tolerant shrubs and climbers
- / 10 Proposed changing room

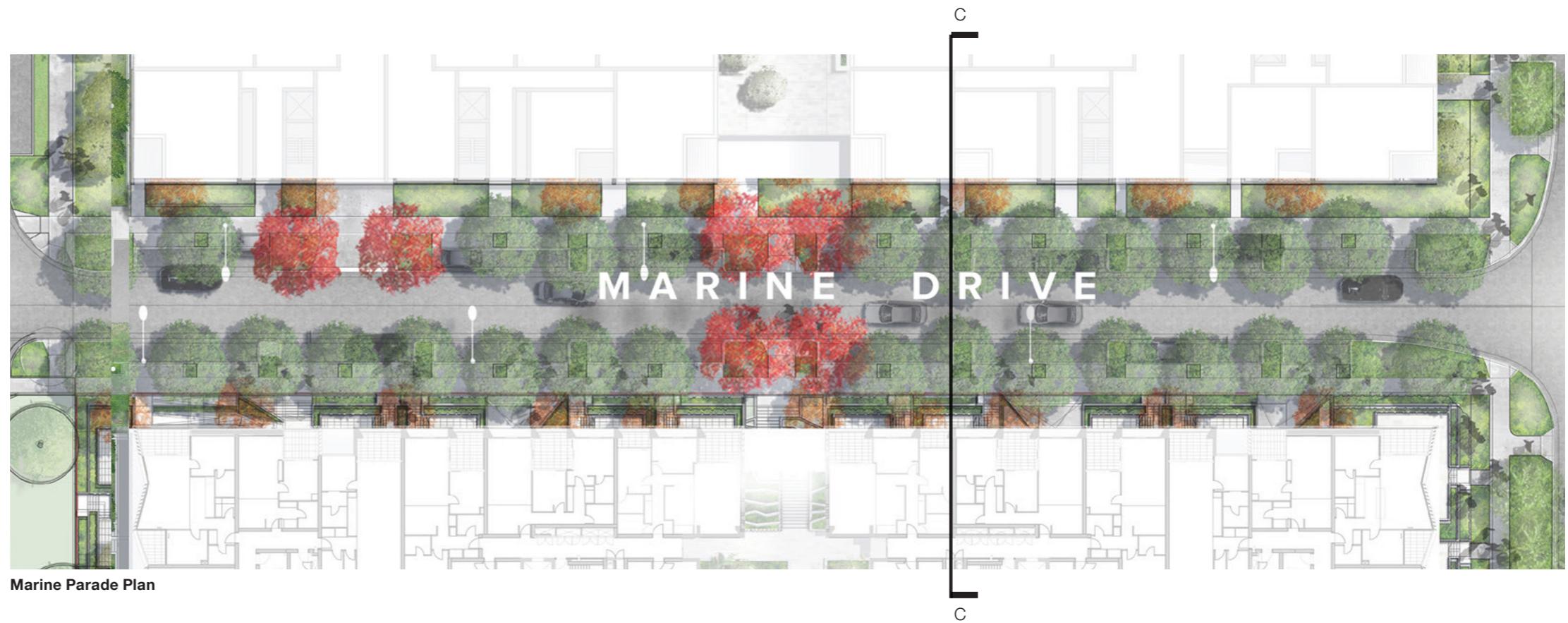
Principle 5: Landscape
 Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood. Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values and preserving green networks. Good landscape design optimises usability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity and provides for practical establishment and long term management.

5.3 STREET INTERFACE

The aim of the building interface with the street is to create a green buffer between the pedestrian path and the built form / private terraces. Planting occurs at footpath level and at terrae level to conceal retaining walls. The planters maintain the same datum level around the building to achieve a consistent green plinth to the building.

The Verona Drive frontage opens on to a widened verge connection to the waterfront. A 3m cycle / pedestrian path facilitated the connection along Verona Drive throughout the precinct. This interface allows for pockets of seating for gathering and respite. They are typically located adjacent to building entries for resident's amenity

Refer to Arcadia Landscape Design Report for further detail





Section CC



Section DD

6.0 FAÇADE + MATERIALS

6.1 FAÇADE CONCEPT

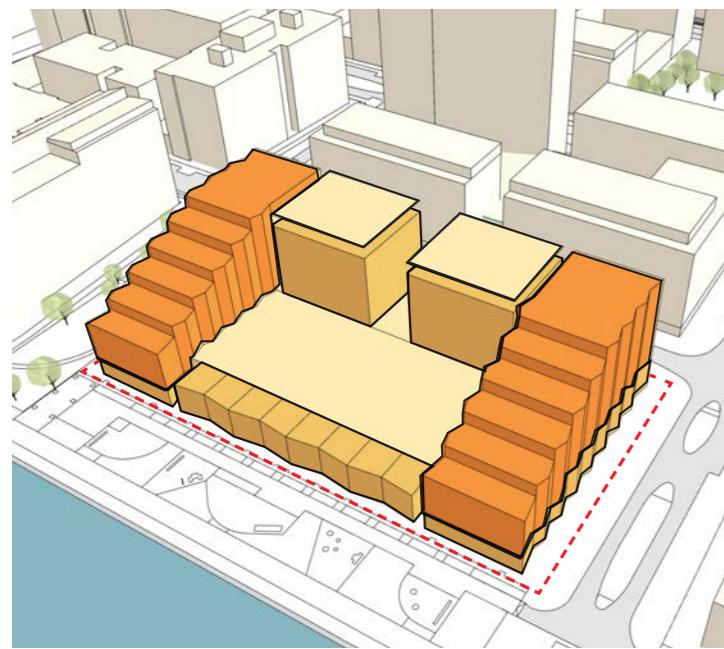
The facade concept is to use form and materiality to reinforce the conceptual massing elements.

BLOCKS PARALLEL TO VERONA DRIVE AND THE FUTURE PARK

These blocks have a faceted form to allow views out to the water from the outboard living spaces.

BLOCKS ON MARINE PARADE AND THE BUILDING BASE

The Marine Parade blocks and the building base have a more solid language which provides some facade depth to give added privacy from the street and the future Block C development.



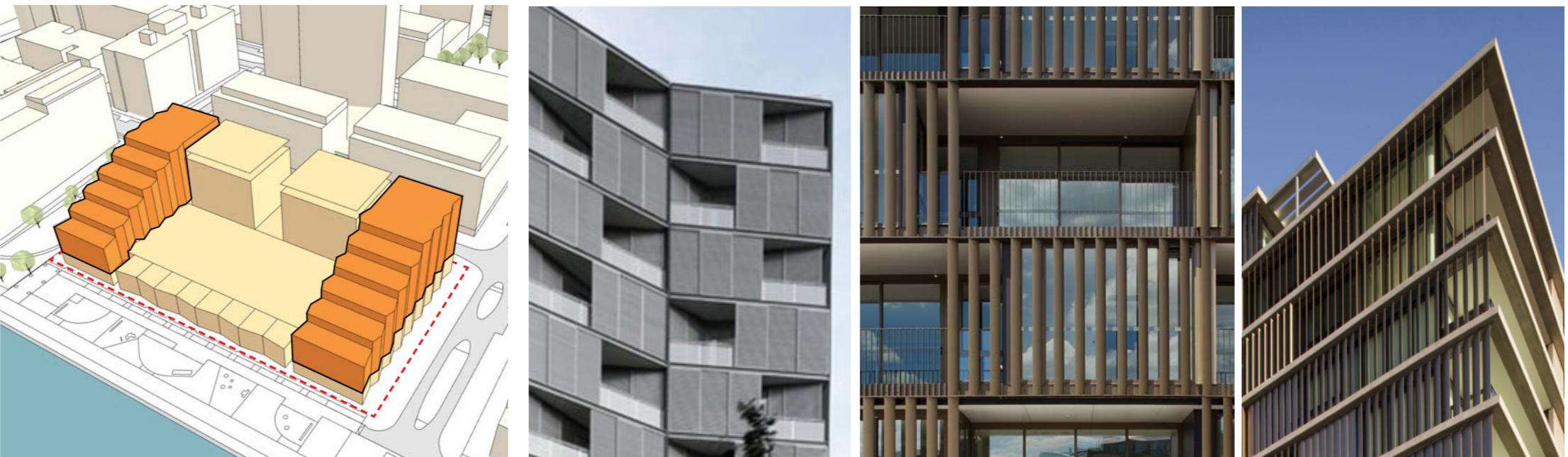
Principle 9: Aesthetics

Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.

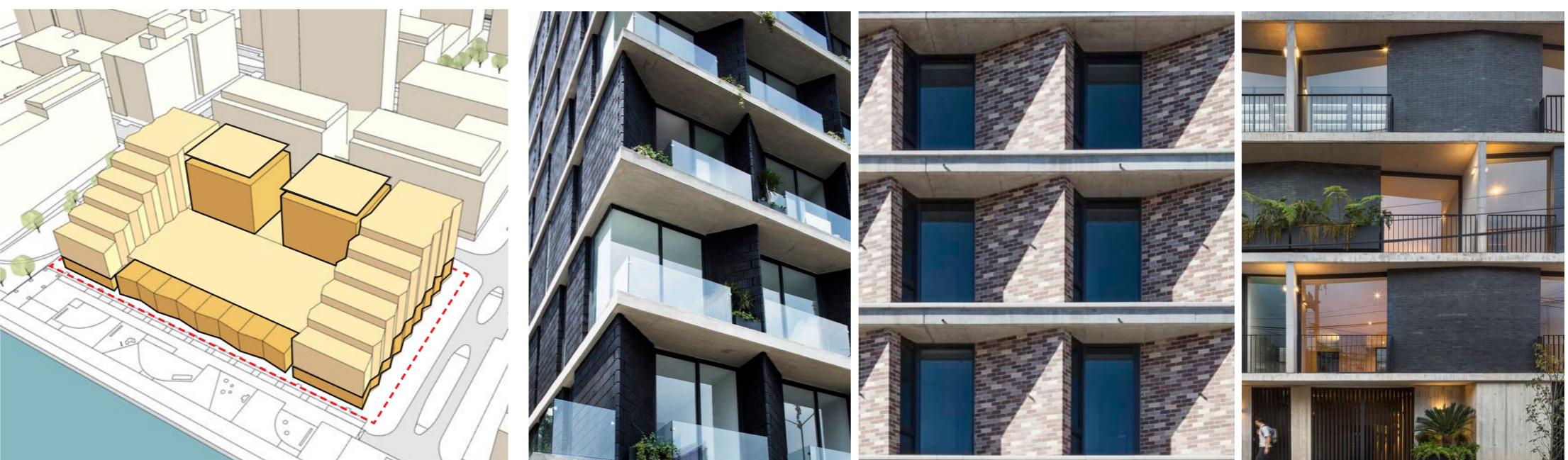
The visual appearance of a well designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.

FACETTED FAÇADE

The faceted façade is a mix of a horizontal concrete slab expression and operable vertical louvres in front of glazing. The louvres are used for both solar protection to the north and for privacy from adjacent properties.

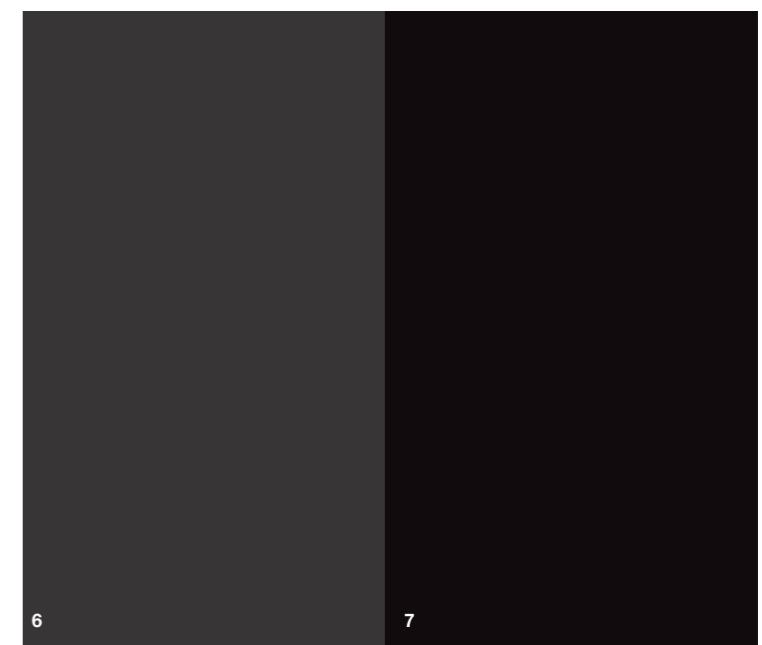
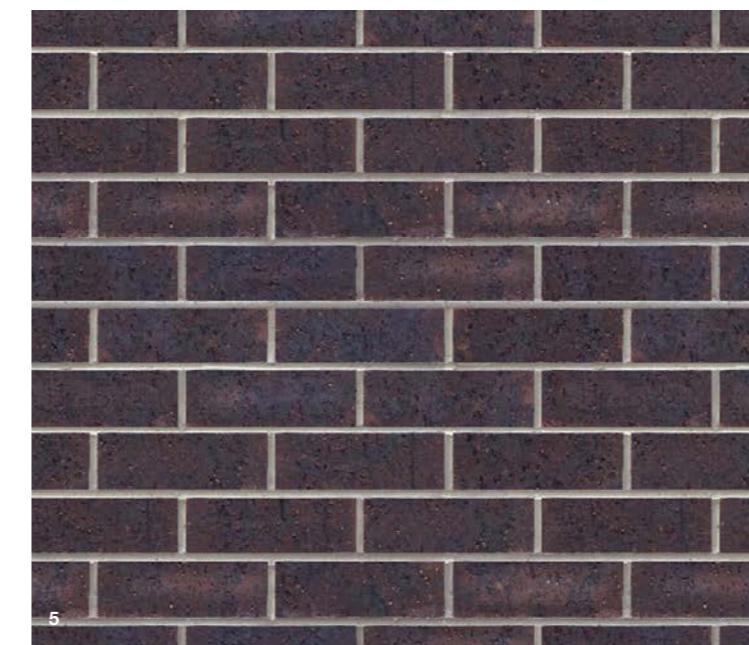
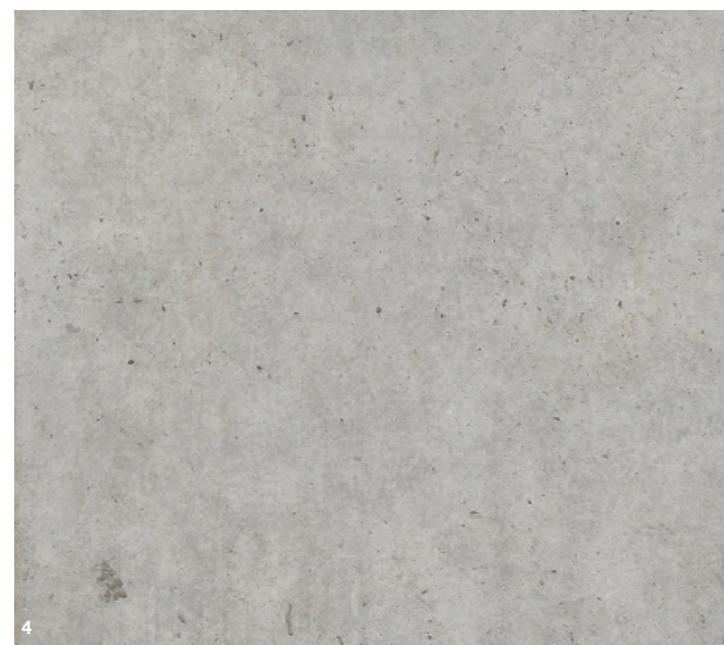
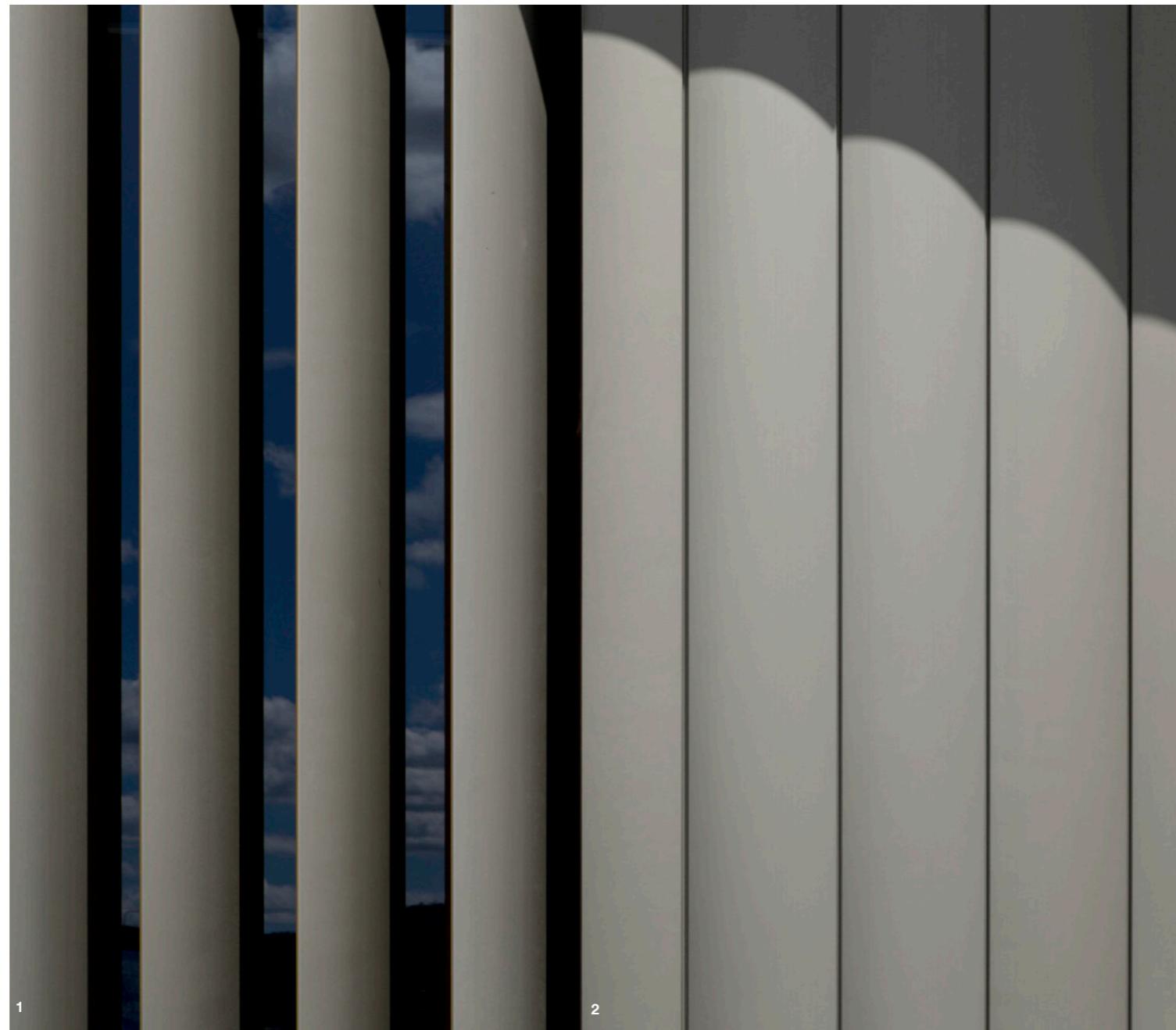
**MASONRY FAÇADE**

The urban edge along Marine Parade has been given a more solid and deep facade expression. Deep brick piers divide the units and balconies while still allowing light from the low winter sun to penetrate. The horizontal slab expression and the set back eighth story (with floating eaves) provides reference back to the faceted facade type. A brick base on Verona Drive and the future park relates to the faceted facade above, to the slope of the site and ties the two facade types together.



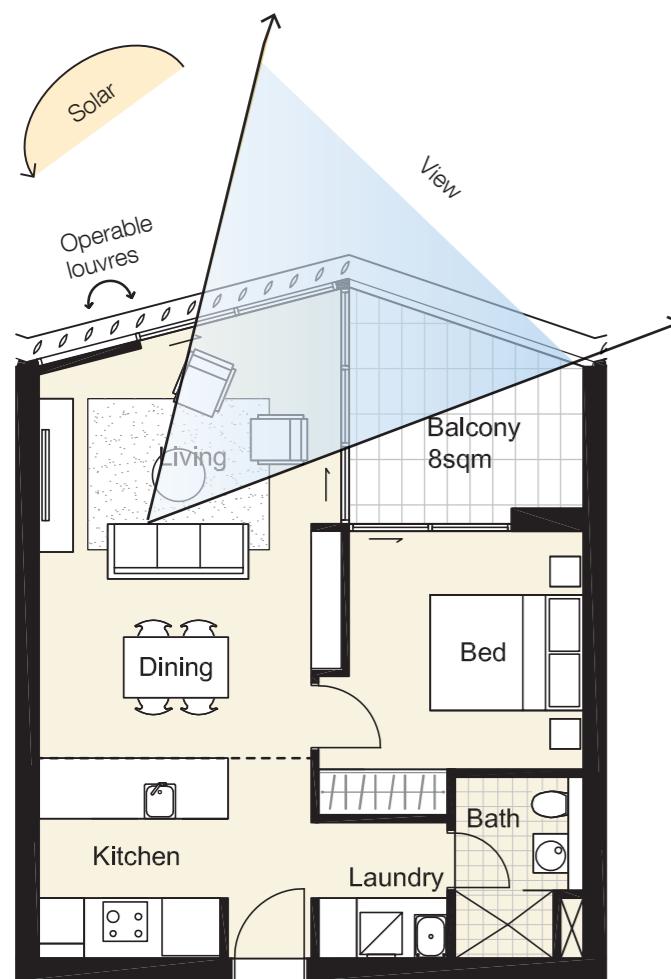
6.2 MATERIALS PALETTE

The material palette again proposes to reinforce the conceptual massing. Light weight metal cladding and louvres on the upper faceted levels, set between projecting concrete slabs. Brick, again set between an expressed concrete slab for the lower levels and the Marine Parade blocks. Dark metal cladding is used at the entrances for awnings and wall returns. The colour palette is muted and refined.

**PICTURED**

- 1/ Metal - Sliver - Vertical Operable Louvres
- 2/ Metal cladding - Sliver
- 3/ Glass - Clear (or colour back refer to elevations)
- 4/ Concrete - Slab edges
- 5/ Brick - Dark Blue/Grey
- 6/ Metal cladding - Dark grey
- 7/ Window frames / Palisade fencing - Dark grey





TYPICAL 1 BED PLAN

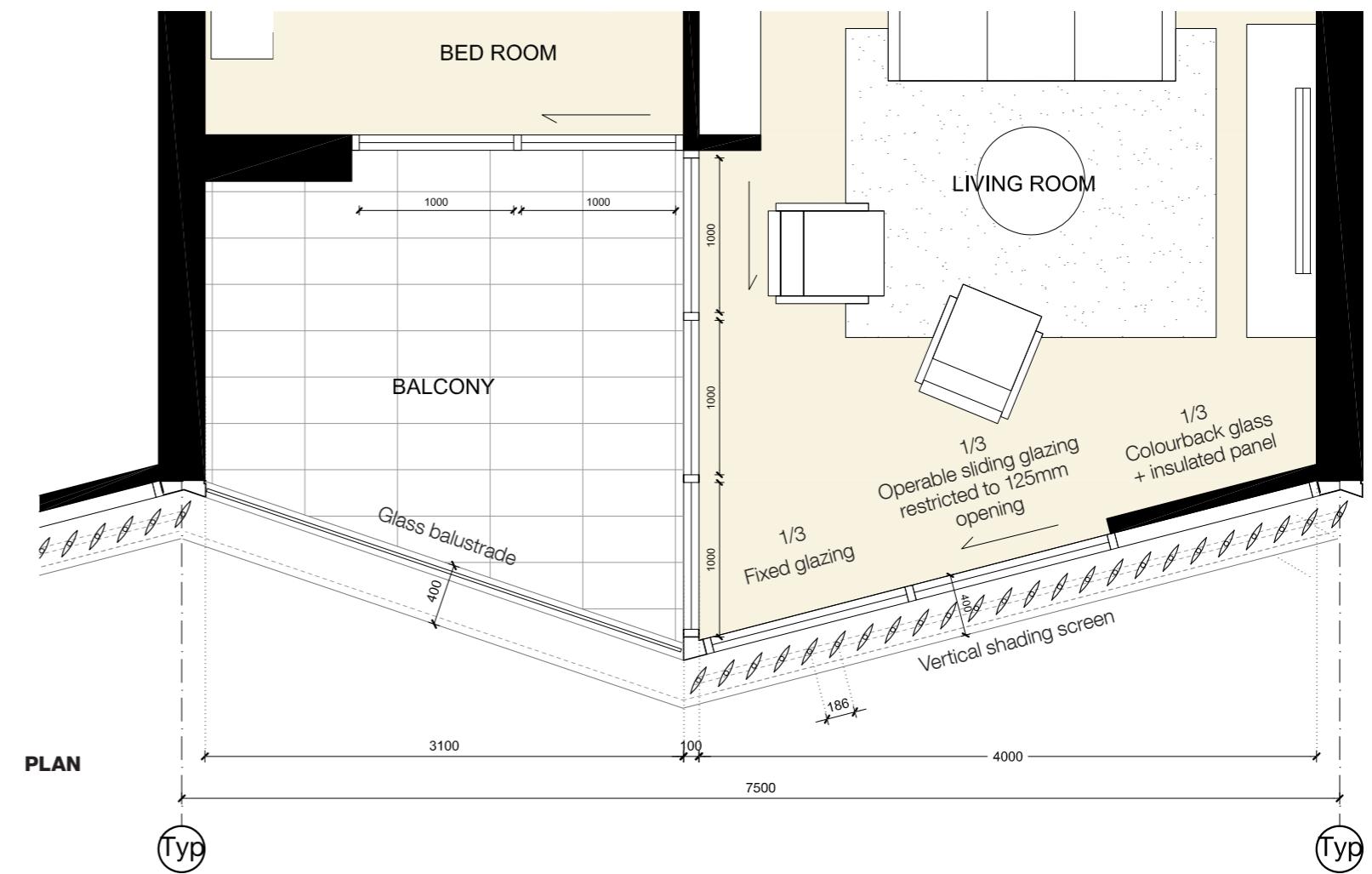
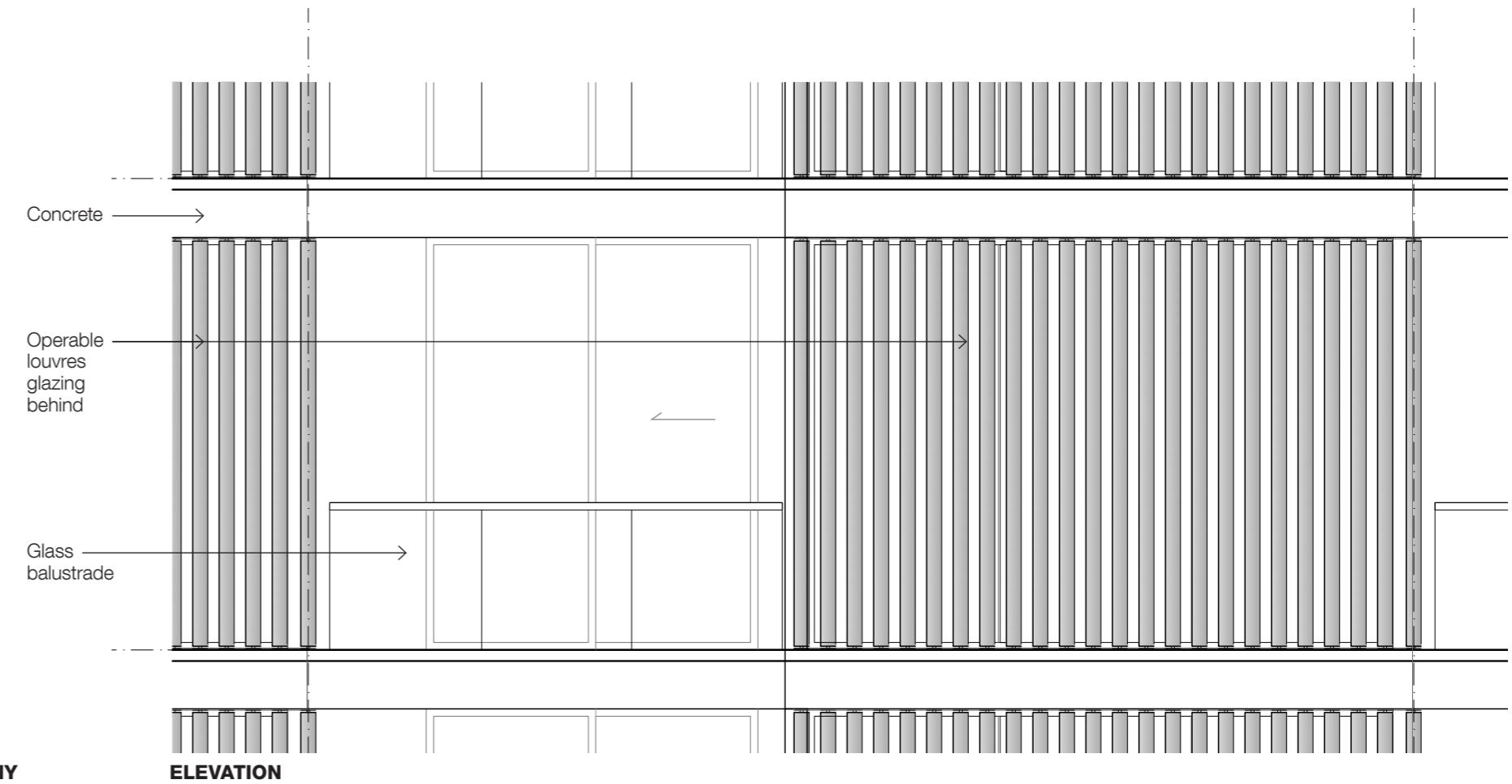
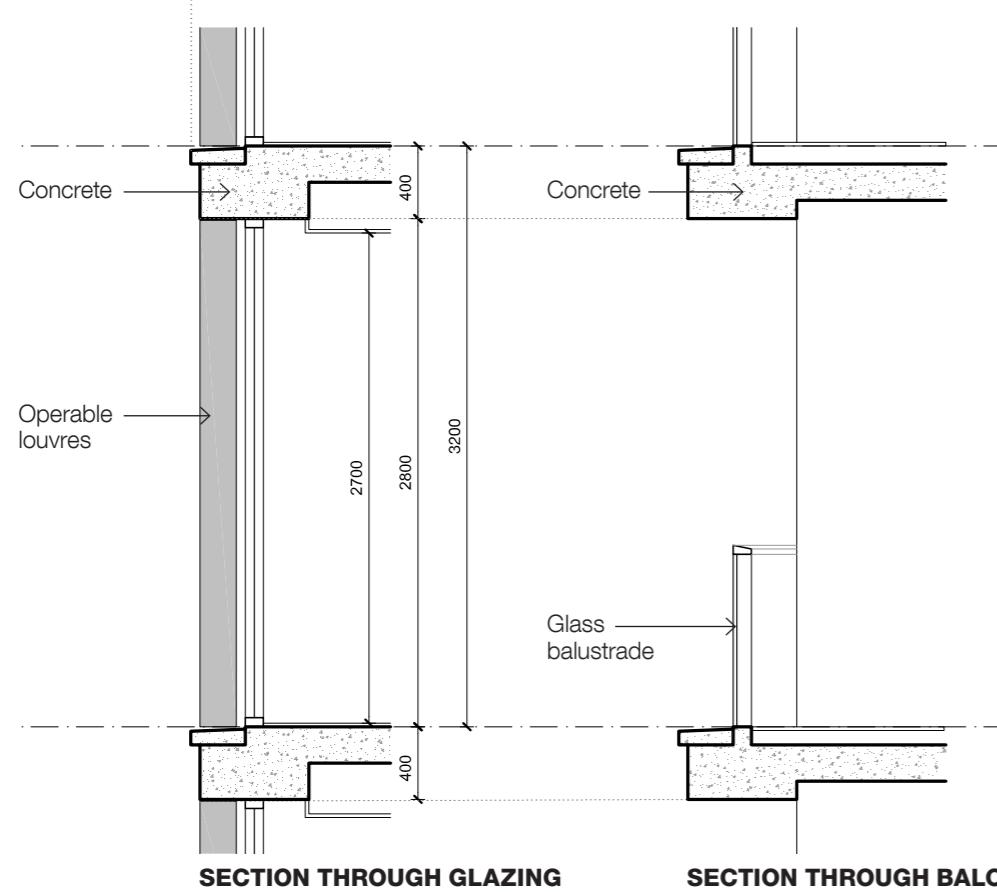


VIEW FROM FACETTED APARTMENT

6.3 NORTHEAST / SOUTHWEST FACETTED FAÇADE

The typical apartment located on a faceted facade has an outboard living area with a balcony positioned to the east. This maximises solar access and provides a visual connection from the living area to Homebush Bay. Glazing is full height and continuous from the facade into the inset balcony providing as large an aperture to the view as possible. Operable louvres to the living room windows provide solar shading when required and privacy from the adjacent apartment buildings. Natural ventilation is provided via the balcony sliding doors and a restricted sliding window to the facade.







VERONA DRIVE ELEVATION

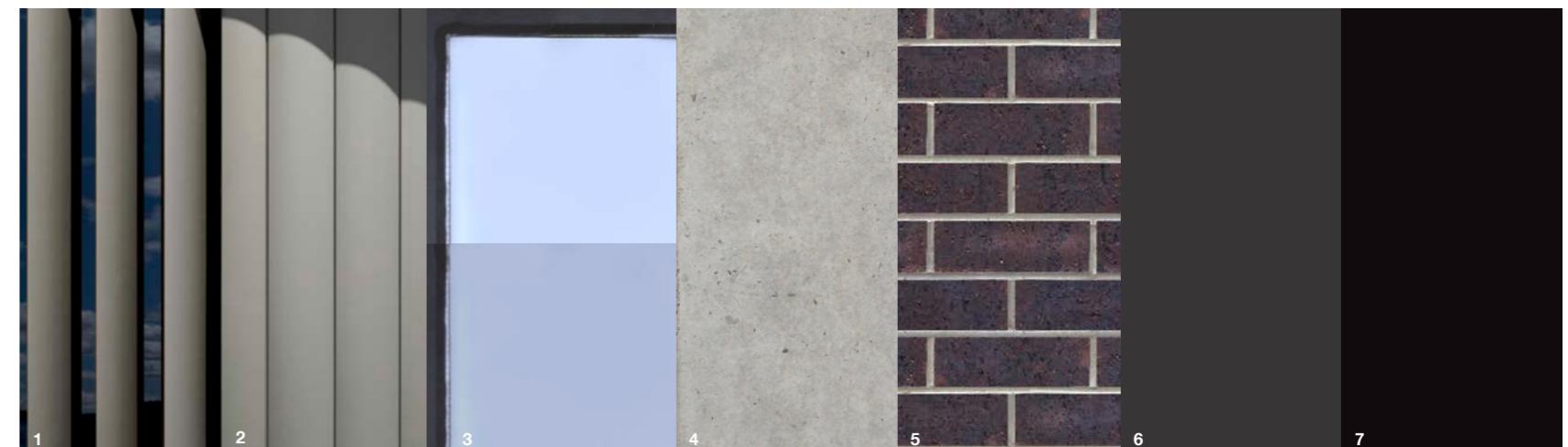


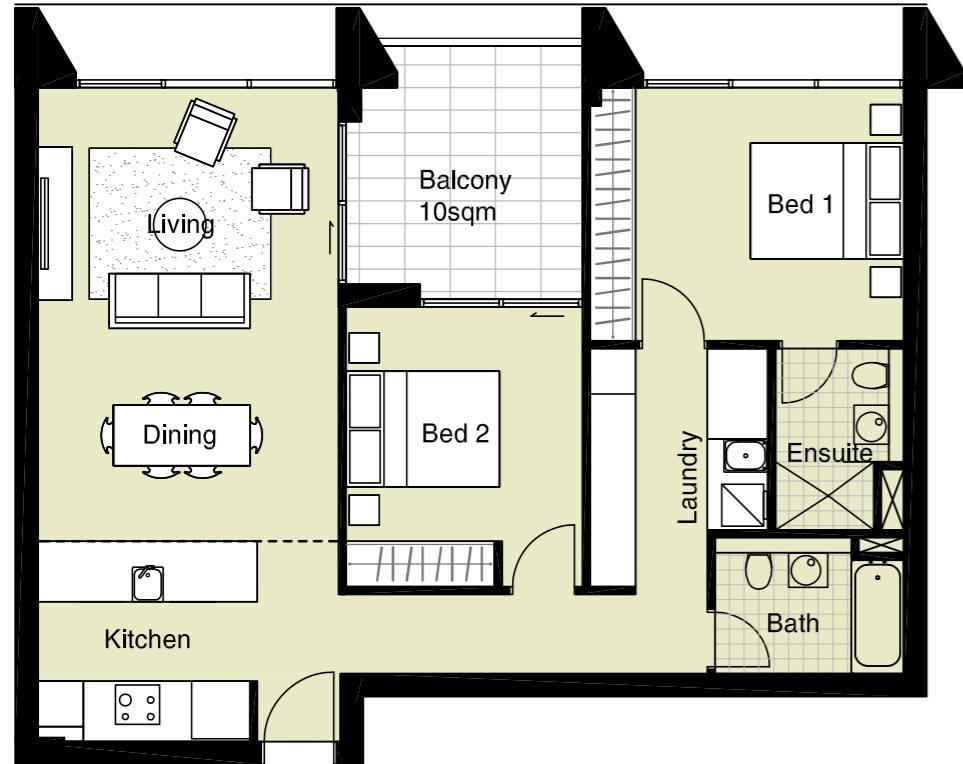
FUTURE PARK ELEVATION

Temporary pathway, shown hatched for access to the Southern core until future park on adjacent lot is delivered

PICTURED

- 1/ Metal - Sliver - Vertical Operable Louvres
- 2/ Metal cladding - Sliver
- 3/ Glass - Clear (or colour back refer to elevations)
- 4/ Concrete - Slab edges
- 5/ Brick - Dark Blue/Grey
- 6/ Metal cladding - Dark grey
- 7/ Window frames / Palisade fencing - Dark grey





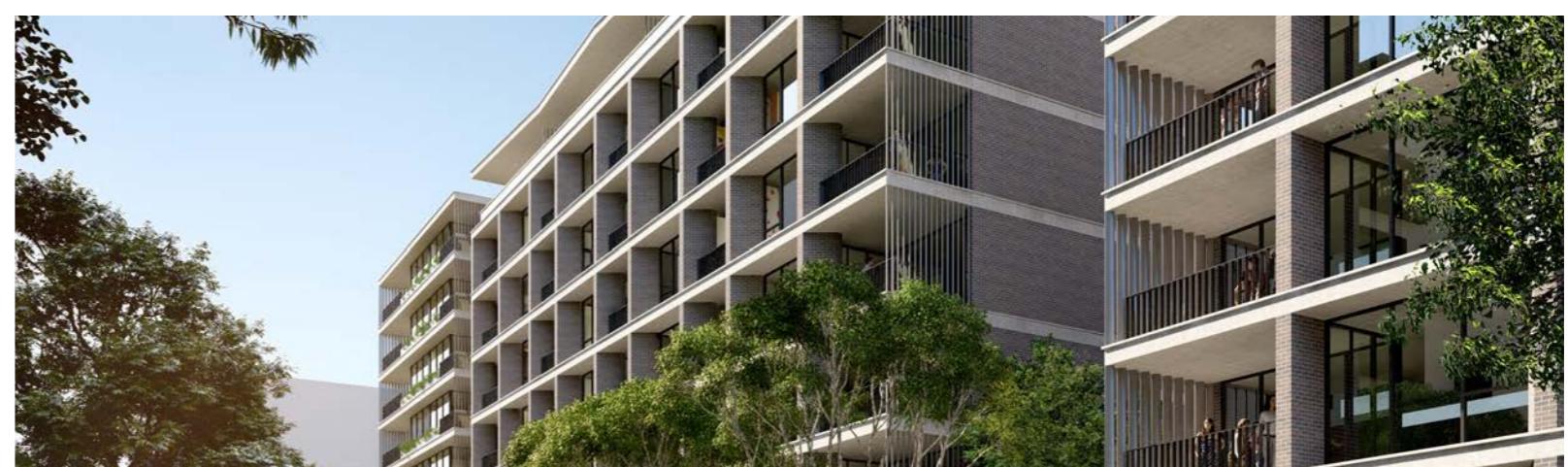
TYPICAL 2 BED UNIT



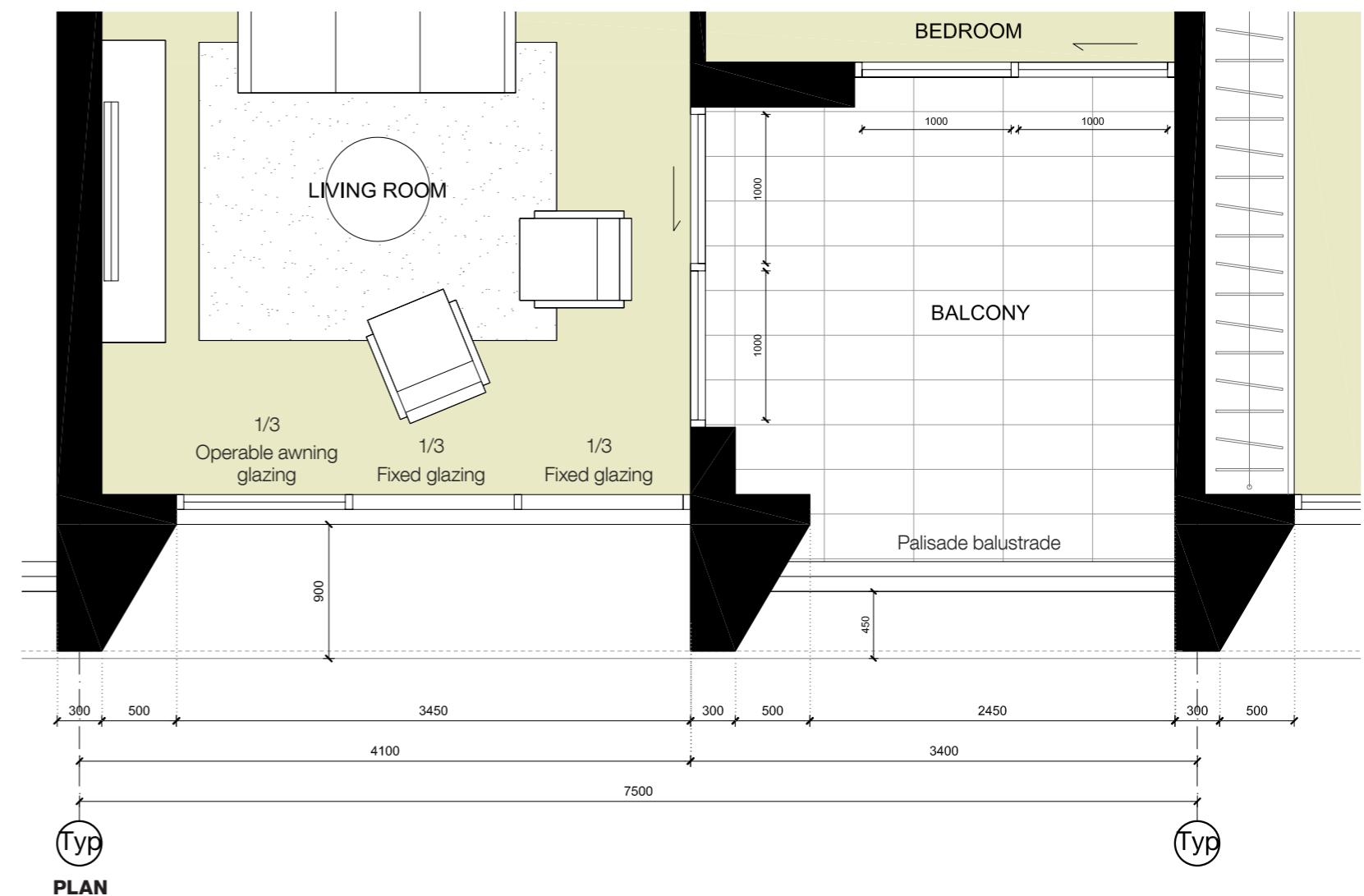
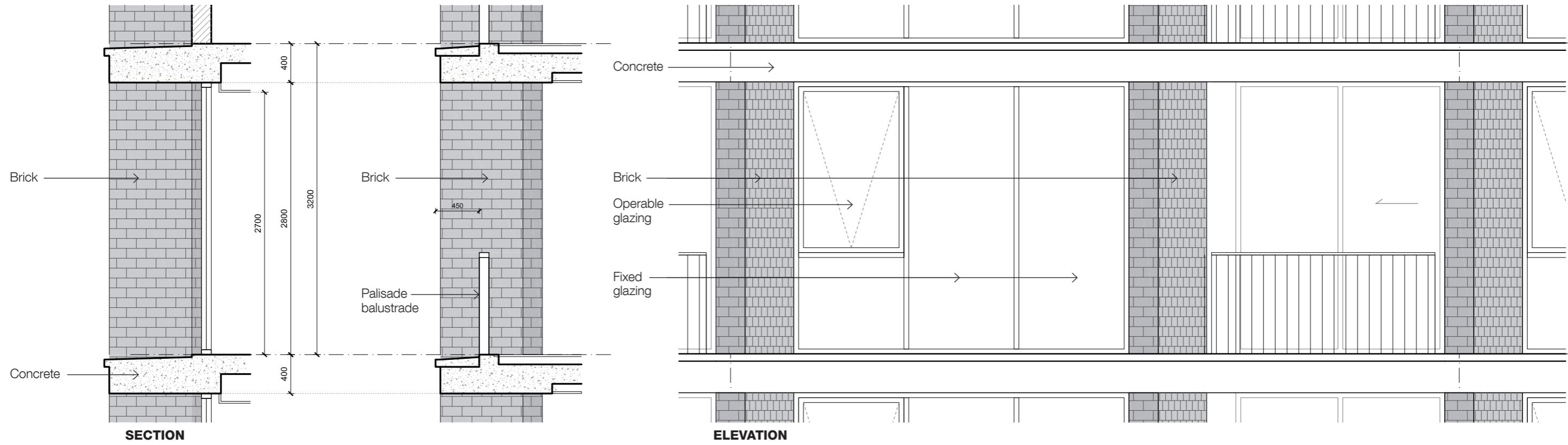
MARINE PARADE

6.4 NORTHWEST FACADE

Typical apartments within the Marine Parade blocks also promote living spaces to the facade line for solar access. Protection from high sun and excessive overlooking is provided via the facade depth itself. Angled brick piers bring a dynamic solidity to the urban street.



DA DESIGN REPORT





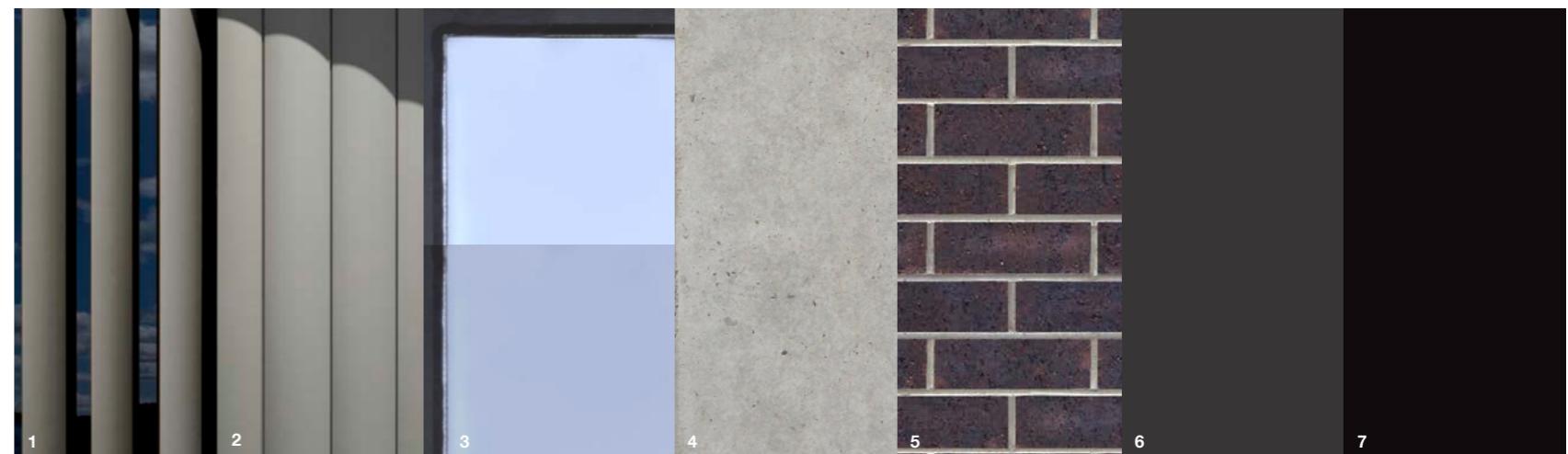
MARINE PARADE ELEVATION



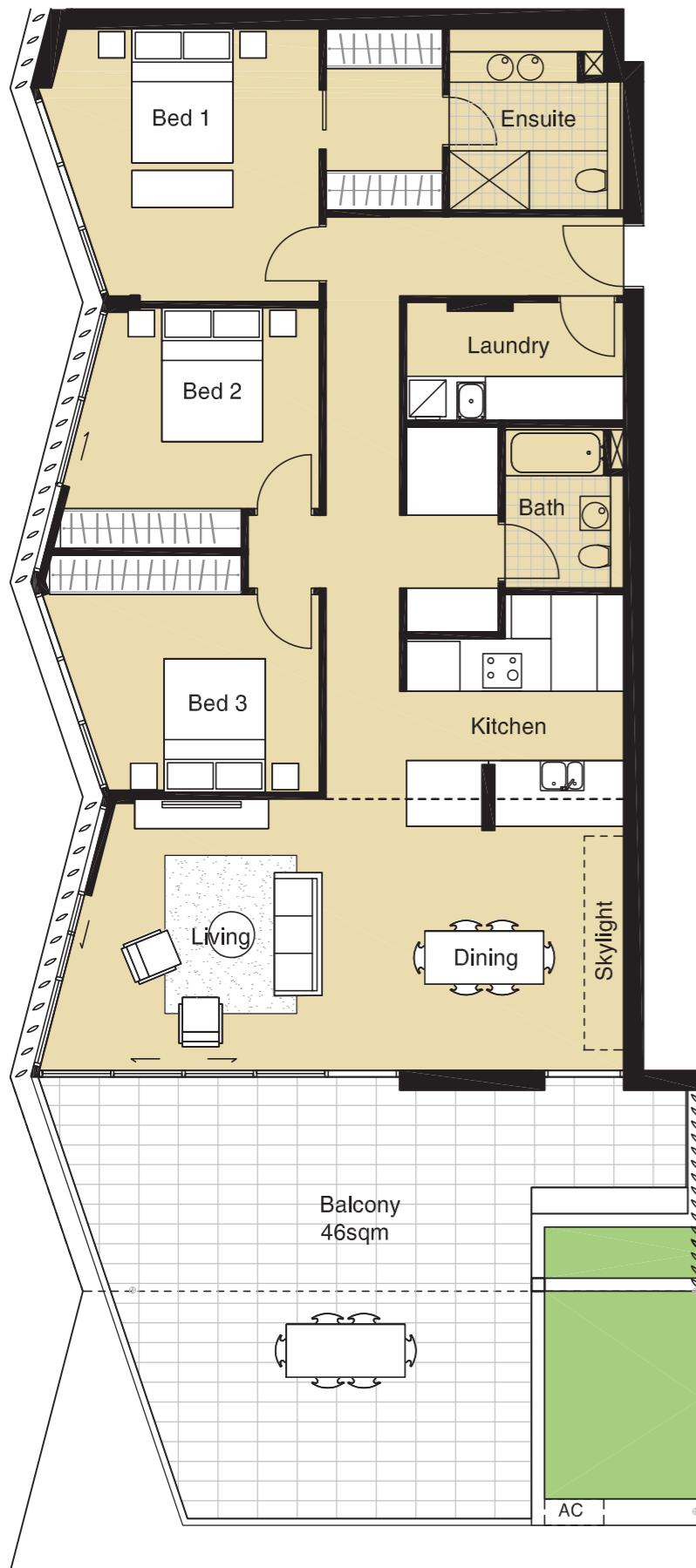
FORESHORE ELEVATION

PICTURED

- 1/ Metal - Silver - Vertical Operable Louvres
- 2/ Metal cladding - Silver
- 3/ Glass - Clear (or colour back refer to elevations)
- 4/ Concrete - Slab edges
- 5/ Brick - Dark Blue/Grey
- 6/ Metal cladding - Dark grey
- 7/ Window frames / Palisade fencing - Dark grey



DA DESIGN REPORT



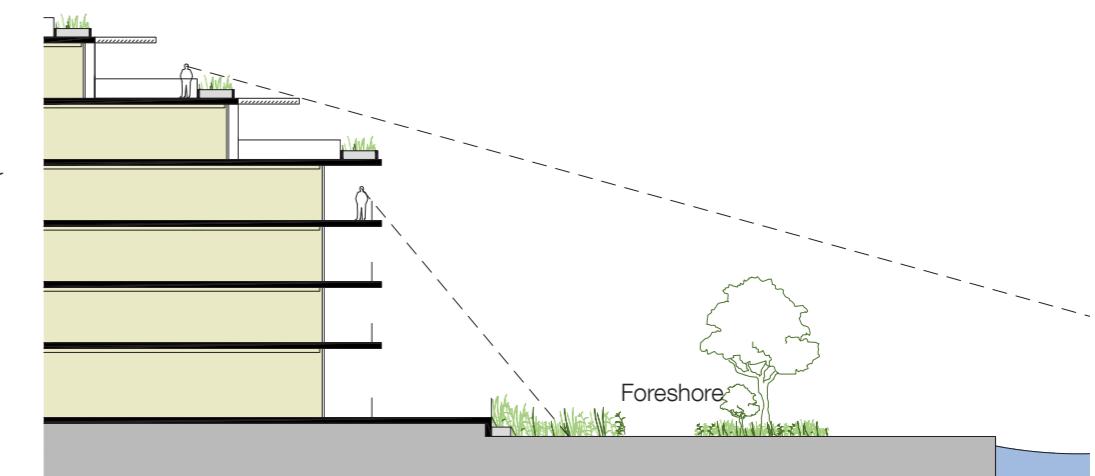
TYPICAL ROOF TERRACE UNIT



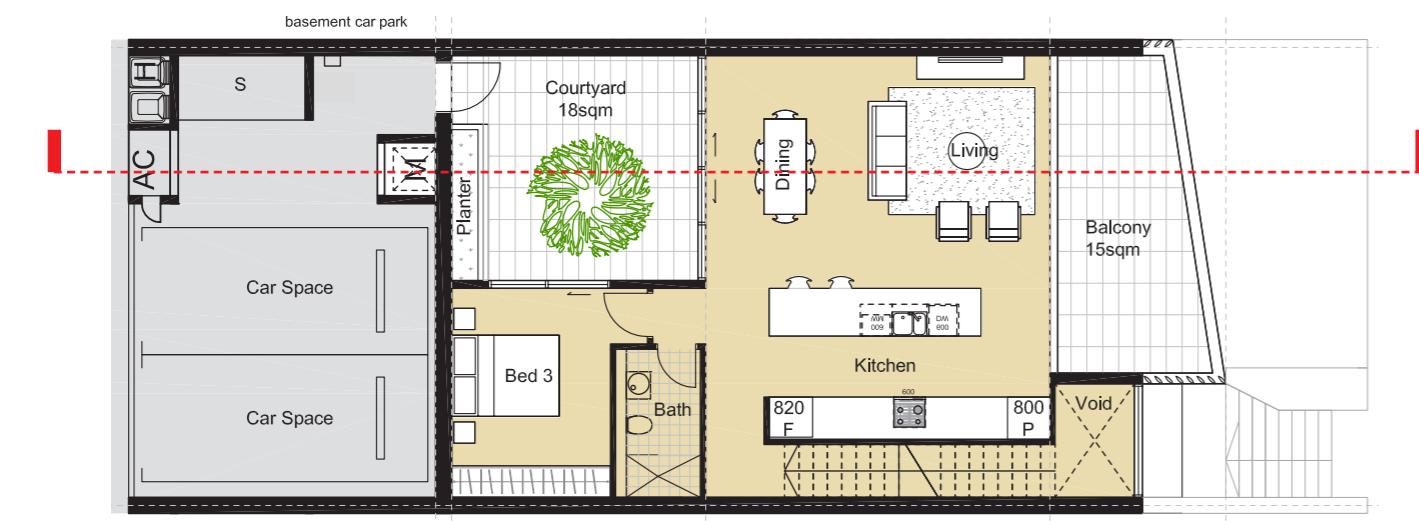
VIEW FROM TERRACE APARTMENT

6.5 ROOF TERRACE APARTMENT

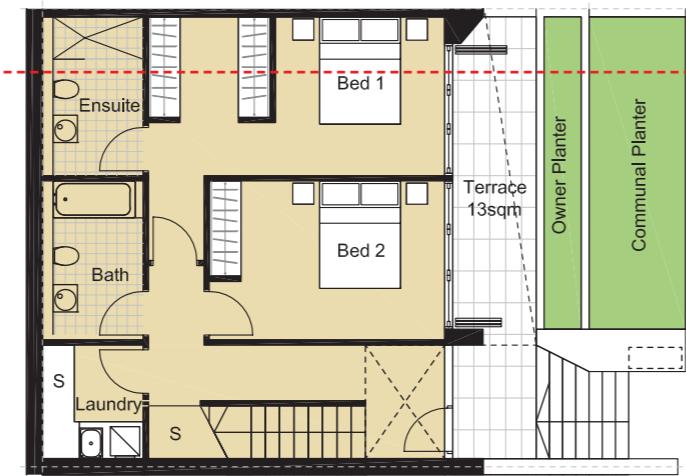
As the building steps back from the foreshore, the roofscape is activated with expansive private outdoor space. These terraces have cantilevered roof pergolas providing solar protection and privacy from apartments above. A centralized raised planter creates a ribbon of greenery up the building and provides a buffer between apartments. To improve solar access to the southwest facing apartments a skylight has been introduced.



DA DESIGN REPORT



UPPER FLOOR PLAN



LOWER FLOOR PLAN



VIEW FROM FORESHORE

6.6 TOWNHOUSE

Eight 3 bed townhouses front the foreshore. These have individual street frontage with clearly identified entry points recessed between large projecting balconies. The lower floor is recessive whilst the upper floor projecting balconies are angled to reflect the faceted facade of the apartment buildings behind.

At the ground floor you enter into a double height space, the stair ascends to living rooms above, overlooking the foreshore and water. The master bedroom, second bedroom and utilities are located at ground level with shutters to enhance and control privacy to the public footpath.

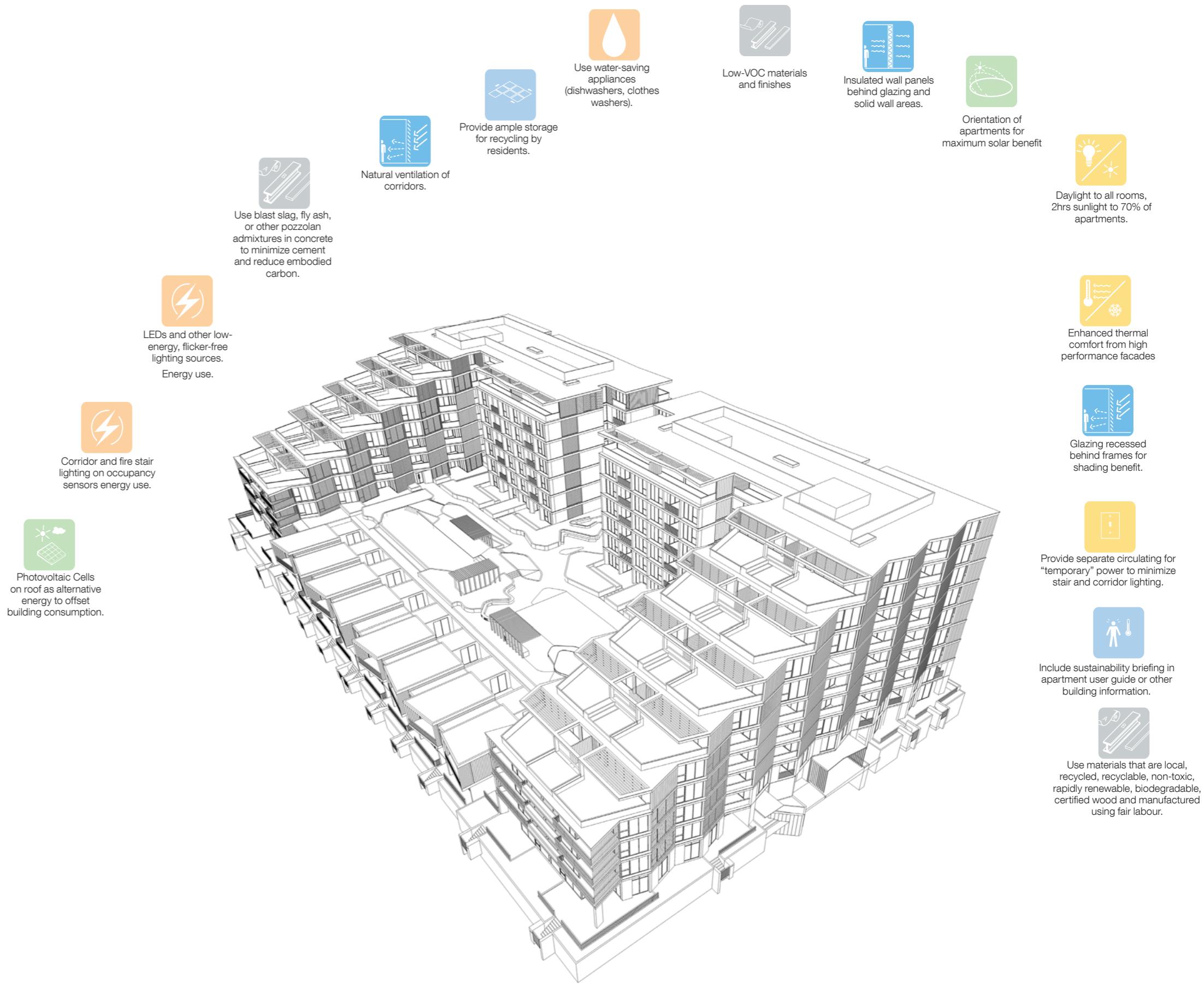
The upper floor provides a dual aspect living rooms book ended with a courtyard to the rear and the projecting balcony to the southeast. The courtyard provides improved daylight and cross ventilation. The ceiling height through the living space is increased again to improve solar access, via a clerestory and create a varied roof space when viewed from above.

Direct access to a double garage is via the courtyard space which has 600mm of soil depth for planting.



7.0 ENVIRONMENTALLY SUSTAINABLE DESIGN

Beyond compliance with SEPP 65, BASIX, and other regulatory minimums, a broad range of sustainability measures are proposed to be pursued. These are summarised on the adjacent diagram.



Principle 4: Sustainability

Good design combines positive environmental, social and economic outcomes.

Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials and deep soil zones for groundwater recharge and vegetation.

8.0

DENSITY + YIELD

8.1 DENSITY

The overall density of the development has been considered with respect to the urban site context. There are no specific mix requirements set out in the Homebush Bay West DCP

8.2 DWELLING SIZE + MIX

The application proposes the following mix of dwelling types:

Type	No	Mix	Size Range
1 Bed	38	15%	51-60 m ²
2 Bed	120	58%	76-97 m ²
3 Bed	49	24%	104-138 m ²

The mix provides a range of unit sizes and types to meet the needs of a diverse range of future residents.

8.3 ADAPTABLE HOUSING

In accordance with Homebush Bay West DCP (Amendment No.1), 41 adaptable apartments are provided to achieve the required 20% of total apartment yield.

The adaptable apartments are allocated as follows:

Type	No.	Allocation
1B-D	5	Levels 0-3
2B-D	24	Levels 2-7
3B-A	10	Levels 0-3
3B-M	2	Levels 0-1

All adaptable unit types have been designed to AS4299 as well as the Silver Liveable Housing Design Guidelines to meet the requirements of SEPP65.

8.4 PARKING

All resident parking is located in the secure basement carpark. Car parking rates have been calculated at the rate of 1 space for each 1 bedroom apartment, 1.13 spaces for each 2 bedroom apartment and 2 spaces for each 3 bedroom apartment. The total number of parking spaces provided is in excess of the minimums stated within Homebush Bay West DCP, however is consistent with the Stage 1 Masterplan Section 96 submission.

22 accessible spaces have been provided as per the Homebush Bay West DCP (Amendment No.1) which states that no more than 50% of adaptable housing require a disabled car space.

It is envisaged that additional visitor car spaces are provided both

within the basement and on street, with a 50% split. A car share space has been allocated on the new foreshore road.

The proposed parking provisions are:

Use	No.
Residential	273
Car share (on street)	1
Visitor (provided in basement)	13
Visitor (on street)	13
Total Provided	300

A total of 207 storage cages have been provided. Storage cages have been over sized so as to accommodate bicycle parking, in accordance with AS 2890.3. Storage cages are provided within the basement levels for residential use. In addition to this 16 visitor bicycle spaces are located adjacent to the cores at B1 level. 11 motorcycle spaces for residents are provided.

8.5 APARTMENT MIX + AFFORDABILITY

The buildings will contain a broad range of apartment types and sizes with the aim being to create a socially diverse neighbourhood. To cater for single occupiers, couples, sharers and families, the apartment mix includes 1, 2 and 3 bedroom units.

The development contributes to housing affordability by providing a range of different apartment sizes and configurations, including 41 adaptable units. The different apartment types have been distributed evenly throughout.

Principle 3: Density

Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context. Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.

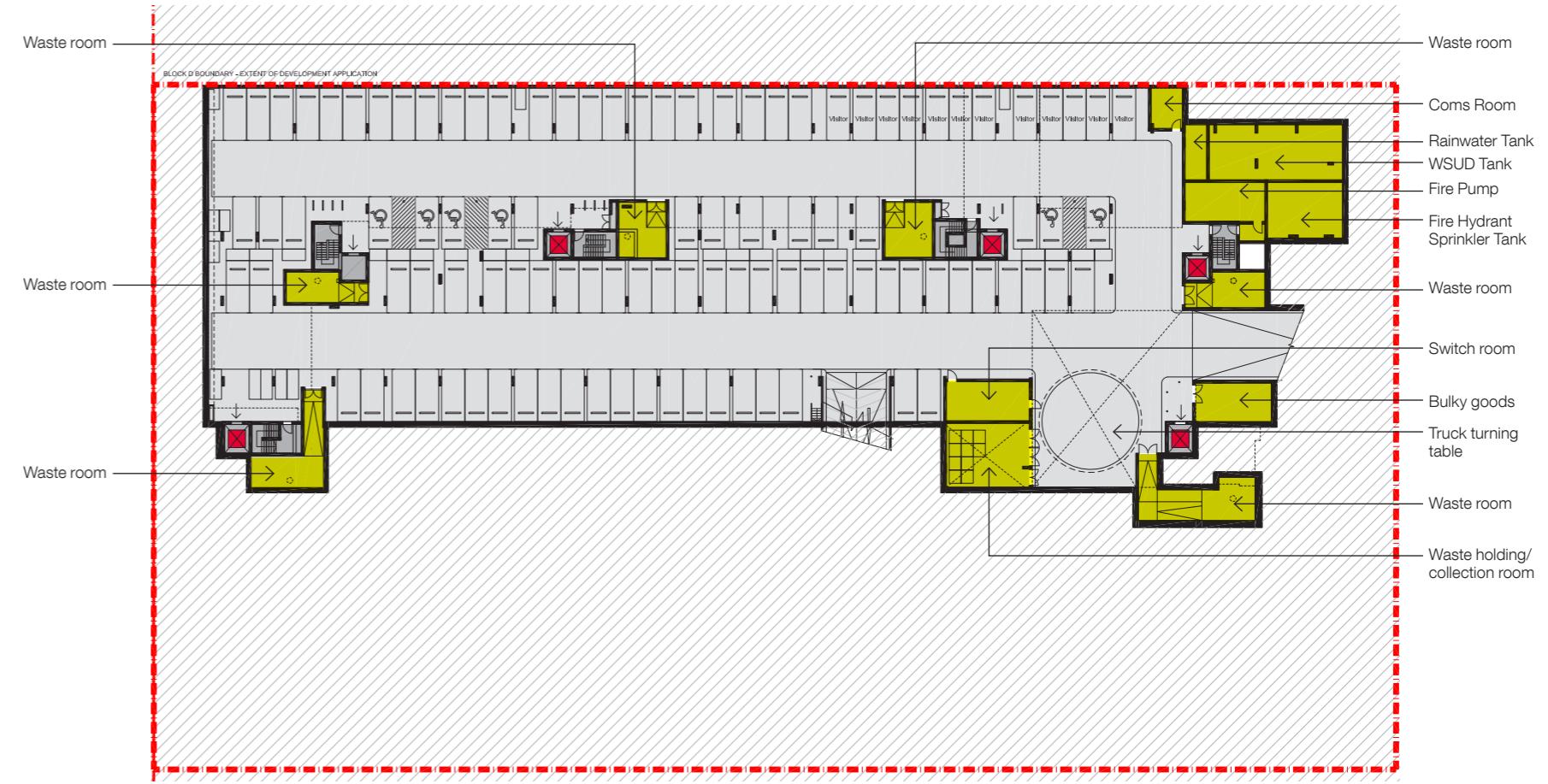
Principle 8: Housing diversity and social interaction

Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.

Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix.

Good design involves practical and flexible features, including different types of communal spaces for a broad range of people and providing opportunities for social interaction among residents.

9.0 BUILDING SERVICES



9.1 BUILDING SERVICES STRATEGY

Service areas are predominantly situated at Level B1, Level 00, and roof level. A centralized hot water system is proposed for the development, whilst heating and cooling is via individual air conditioning units. These services are located on the roof with the remaining services provided at ground and basement levels as described in detail below.

9.2 WASTE SERVICING STRATEGY

Waste rooms are located adjacent to each lift core on Level B1, providing compacted residential general waste collection to each of the waste chutes. Residents have access to a waste chute on each residential floor as well as a recycling bin cupboard. Recycling bins are rotated between the Waste Holding Collection Rooms located at level B1 and the cupboard in each lobby, such that a bin is always available for use by residents.

The building manager transfers the full waste and recycling bins to the Waste Holding Collection Room at Level B1 for collection by a private contractor. Adequate clearance height from basement car park entrance to the Waste Holding Collection Room has been provided and a 10.6 diameter truck turn table allows for adequate internal collection and turning facility. A Bulky Goods Room located adjacent to the collection area allows for collection of larger goods.

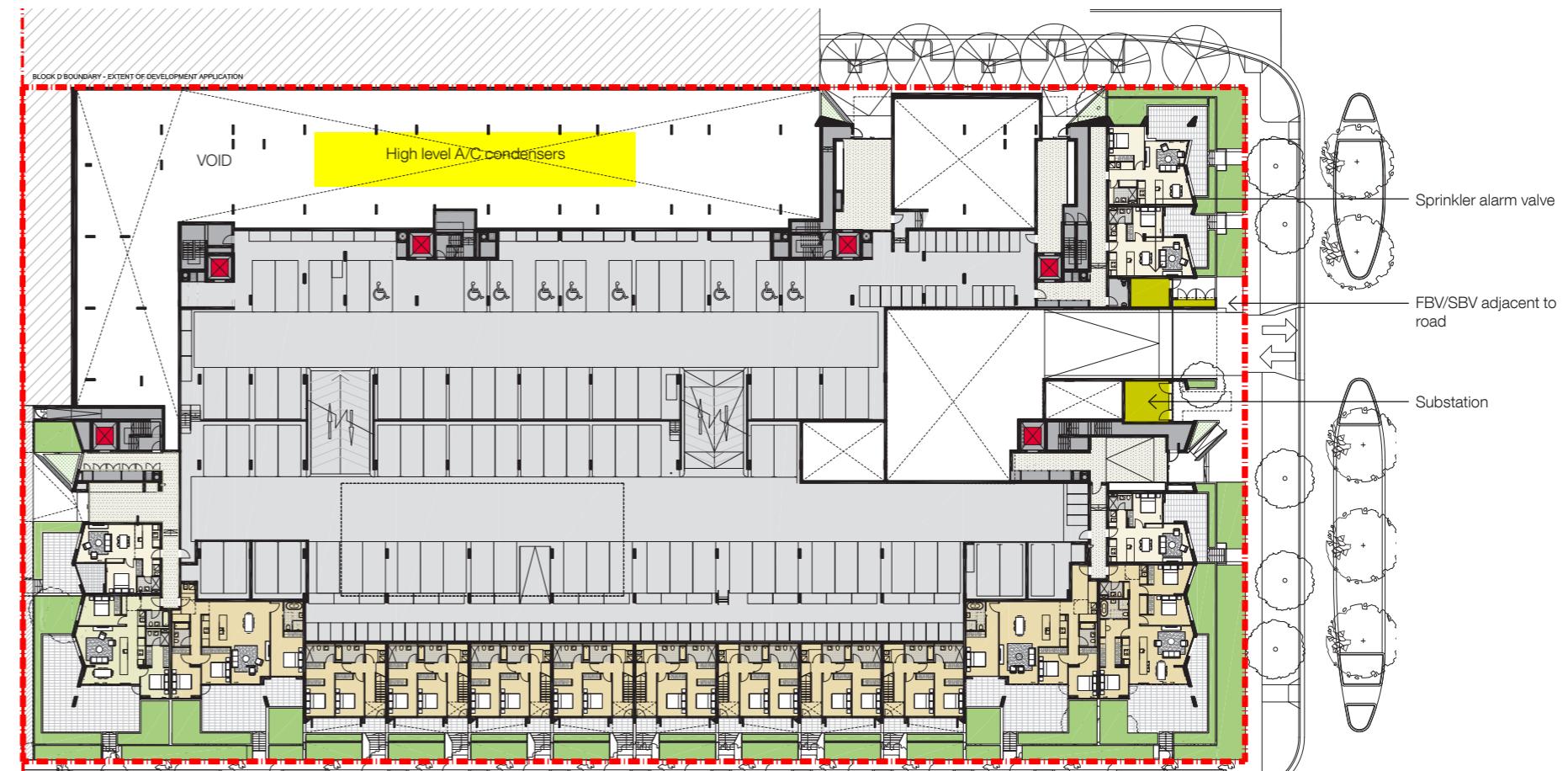
9.3 BASEMENT LEVEL 1

The carpark relies on mechanical ventilation with supply air received through the carpark entry ramp and via supply air droppers from the Level 02 podium. Exhaust air is ducted directly through to roof at Level 08. The supply air fan is located adjacent to the carpark entry.

9.4 GROUND LEVEL SERVICES

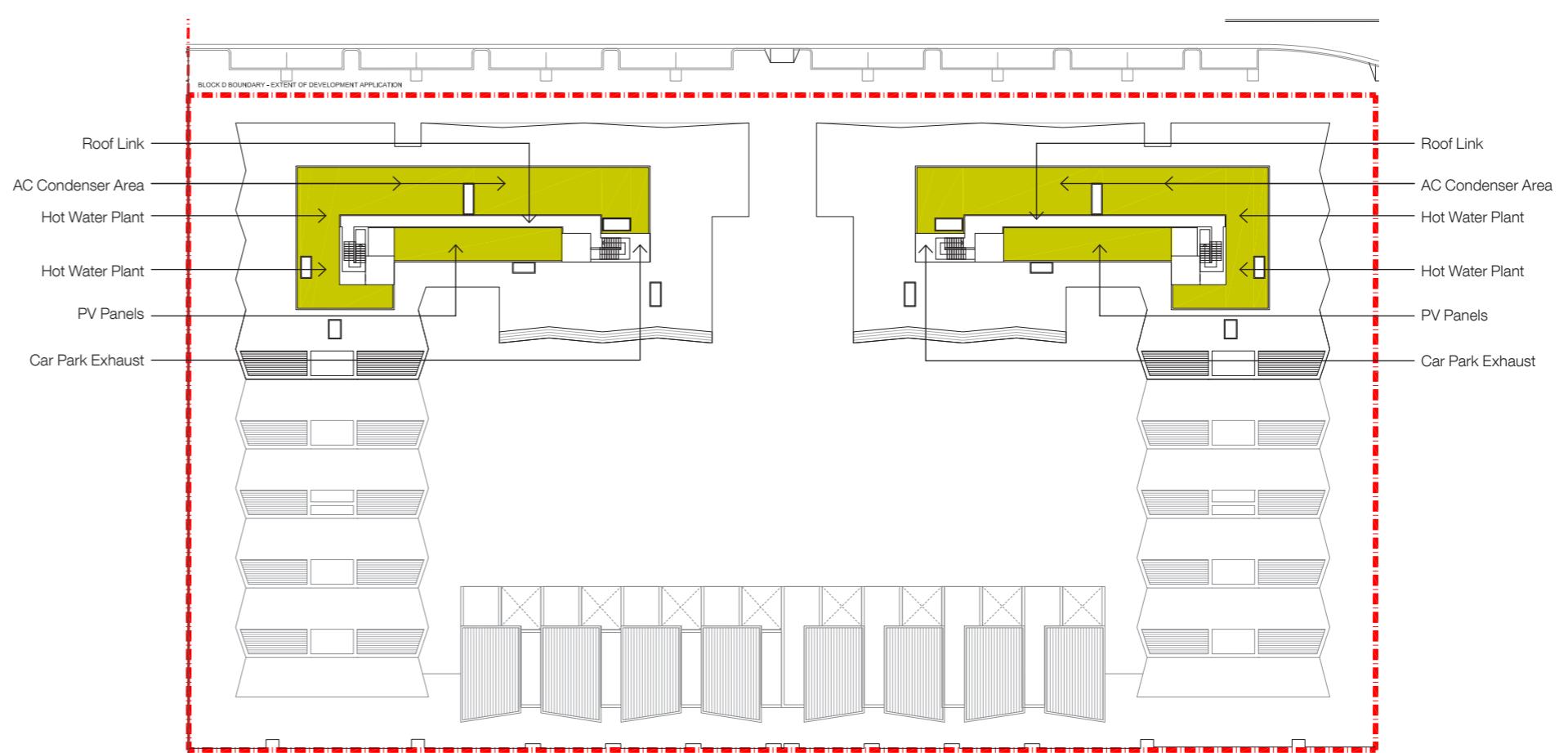
The substation is located adjacent to the vehicle entrance and connects to the master plan infrastructure running down Verona Drive. The sprinkler alarm valve, Fire Booster and Sprinkler Valve are also site adjacent to the ramp and is in close proximity to the Main Entry for ease of access for the fire services.

The void space below apartments on Marine Parade will be utilized for A/C Condensers.



9.5 ROOF LEVEL SERVICES

At roof level a link between the stair cores has been provided. This could be accessed by residents in upper levels in the event that one of the lifts is inoperative. Services areas, which will be partitioned off from the roof link, will house plant for the centralized hot water system and A/C condensers.





APPENDIX A

BATES SMART

ARCHITECTURAL

DRAWINGS

Development Application

14.11.2018 REV[C]

Drawing List

Drawing No.	Title	Scale
A00.001	Existing Site Plan + Block Plan	1:500@A1
A00.002	Indicative Stage 1 Operational Plan	1:750@A1
A01.001	Proposed Site Plan	1:750@A1
A02.006	Public Domain Alignment	1:750@A1
A03.0B1	Basement 01 Plan	1:200@A1
A03.000	Ground Floor Plan	1:200@A1
A03.001	Level 01 Plan	1:200@A1
A03.002	Level 02 Plan	1:200@A1
A03.003	Level 03 Plan	1:200@A1
A03.004	Level 04 Plan	1:200@A1
A03.005	Level 05 Plan	1:200@A1
A03.006	Level 06 Plan	1:200@A1
A03.007	Level 07 Plan	1:200@A1
A03.008	Level 08 Plan	1:200@A1
A03.009	Roof Plan	1:200@A1
A07.001	Elevations - Sheet 1	1:200@A1
A07.002	Elevations - Sheet 2	1:200@A1
A07.003	Elevations - Sheet 3	1:200@A1
A08.001	Sections - Sheet 1	1:200@A1
A08.002	Sections - Sheet 2	1:200@A1
A08.003	Sections - Detail - Sheet 1	1:20@A1
A08.004	Sections - Detail - Sheet 2	1:20@A1
A08.005	Sections - Detail - Sheet 3	1:20@A1
A40.000	Area Calculations	1:600
A40.001	Deep Soil and Open Space	1:600
A40.002	Shadow Diagrams	NTS
A40.003	View from the Sun	NTS
A40.004	Photomontage - Sheet 1	NTS
A40.005	Photomontage - Sheet 2	NTS
A40.006	Photomontage - Sheet 3	NTS
A50.010	Apartment Types - 1 Bed	1:100@A1
A50.020	Apartment Types - 2 Bed - Sheet 1	1:100@A1
A50.021	Apartment Types - 2 Bed - Sheet 2	1:100@A1
A50.030	Apartment Types - 3 Bed - Sheet 1	1:100@A1
A50.031	Apartment Types - 3 Bed - Sheet 2	1:100@A1
A50.032	Apartment Types - 3 Bed - Sheet 3	1:100@A1

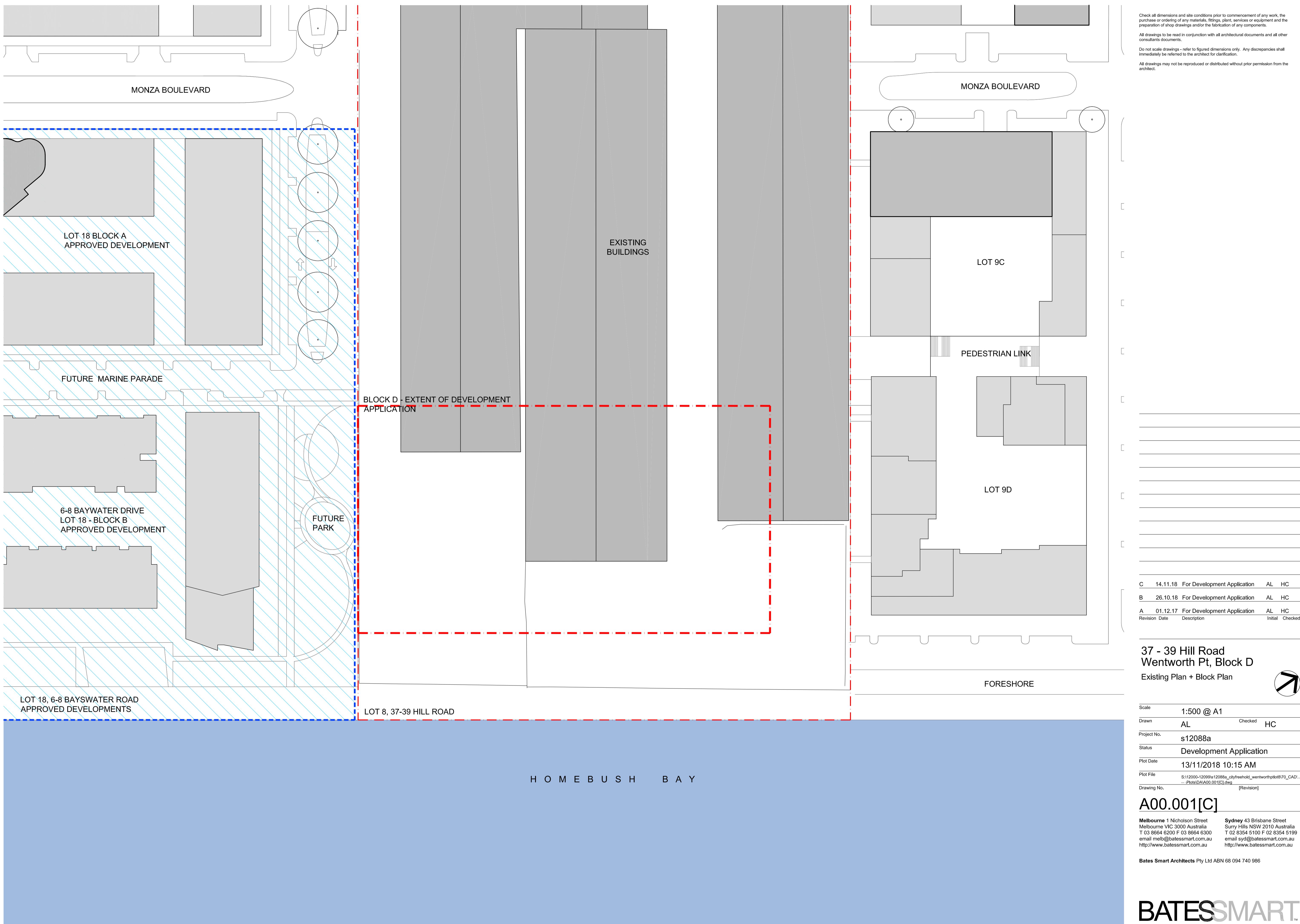
Thermal Comfort and BASIX Inclusions

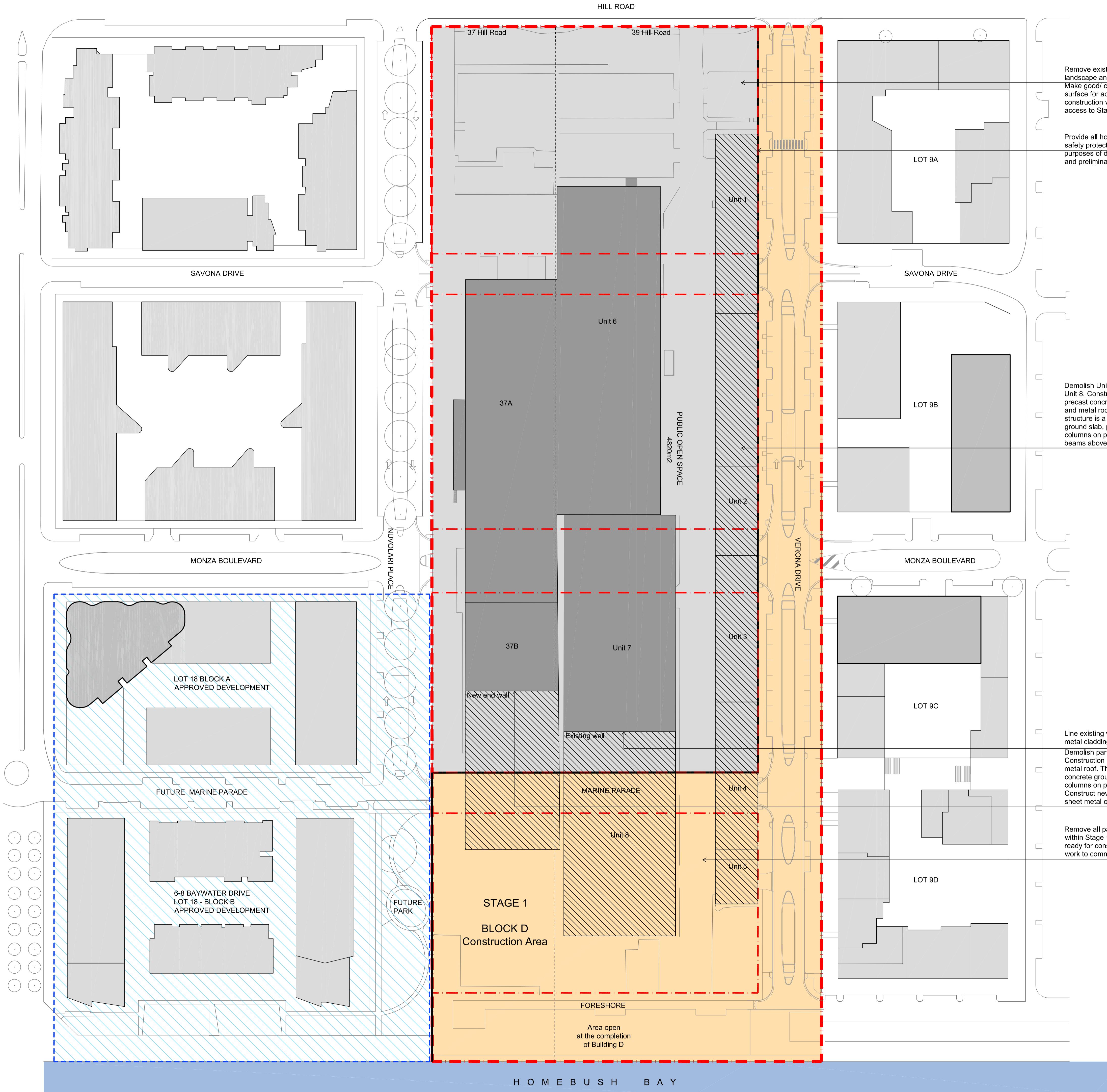
Glazing Doors/windows	<p>Aluminium framed single performance glazing: U-Value: 4.80 (equal to or lower than) SHGC: 0.59 ($\pm 10\%$)</p> <p>Aluminium framed single performance glazing improved frames: U-Value: 3.60 (equal to or lower than) SHGC: 0.47 ($\pm 10\%$)</p> <p>Aluminium framed double glazing as per assessor: U-Value: 4.50 (equal to or lower than) SHGC: 0.61 ($\pm 10\%$)</p> <p>Aluminium framed double glazing improved frames as per assessor: U-Value: 3.50 (equal to or lower than) SHGC: 0.64 ($\pm 10\%$)</p> <p>Given values are AFRC, total window system values (glass and frame)</p>
Roof	<p>Concrete roof no insulation</p> <p>Metal roof with a foil backed blanket (Minimum R1.2up and R1.2down)</p> <p>Default colour modelled</p>
Ceiling	<p>Plasterboard ceiling with Kingspan k10 kooltherm soffit board 50mm R2.5 (minimum RT3.66)</p> <p>Plasterboard ceiling, no insulation where neighbouring units are above</p> <p>Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assumed sealed LED down lights.</p>
External wall	<p>Brick veneer with a minimum R1.5 insulation (insulation value)</p> <p>Metal clad, stud framed walls with a minimum R1.5 insulation (insulation only value)</p> <p>R2.0 insulation where required as per assessor certificate</p> <p>Default colour modelled</p>
Inter tenancy walls	<p>75 mm Hebel power panel to walls adjacent to neighbours, no insulation required</p> <p>75 mm Hebel power panel to walls adjacent to hallways with a minimum R1.2 insulation (insulation only value).</p> <p>Minimum 150mm concrete with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs, with a minimum R1.2 insulation (insulation only value).</p>
Walls with-in dwellings	Plasterboard on studs - no insulation
Floors	<p>Concrete, no insulation required to units with garage below</p> <p>Concrete, with a minimum R0.9 insulation (insulation only value) required where open sub-floor is below</p> <p>Concrete between levels no insulation required</p>
Floor coverings	Default floor coverings modelled
Central rainwater storage	<p>Tank size 8,000L</p> <p>Collecting from 800m² roof area</p> <p>Connected to outdoor tap for irrigation of landscaping common and private</p>
Fire sprinkler test water	Fire sprinkler test water must be contained in a closed loop system
Common area swimming pools and spas	<p>103LK</p> <p>Pool cover required</p> <p>Electric heat pump controlled by timer</p>
Hot water system	Central gas instantaneous with R0.6 (~25mm) insulation to ring main and supply risers
Alternative energy	14kW photovoltaic system

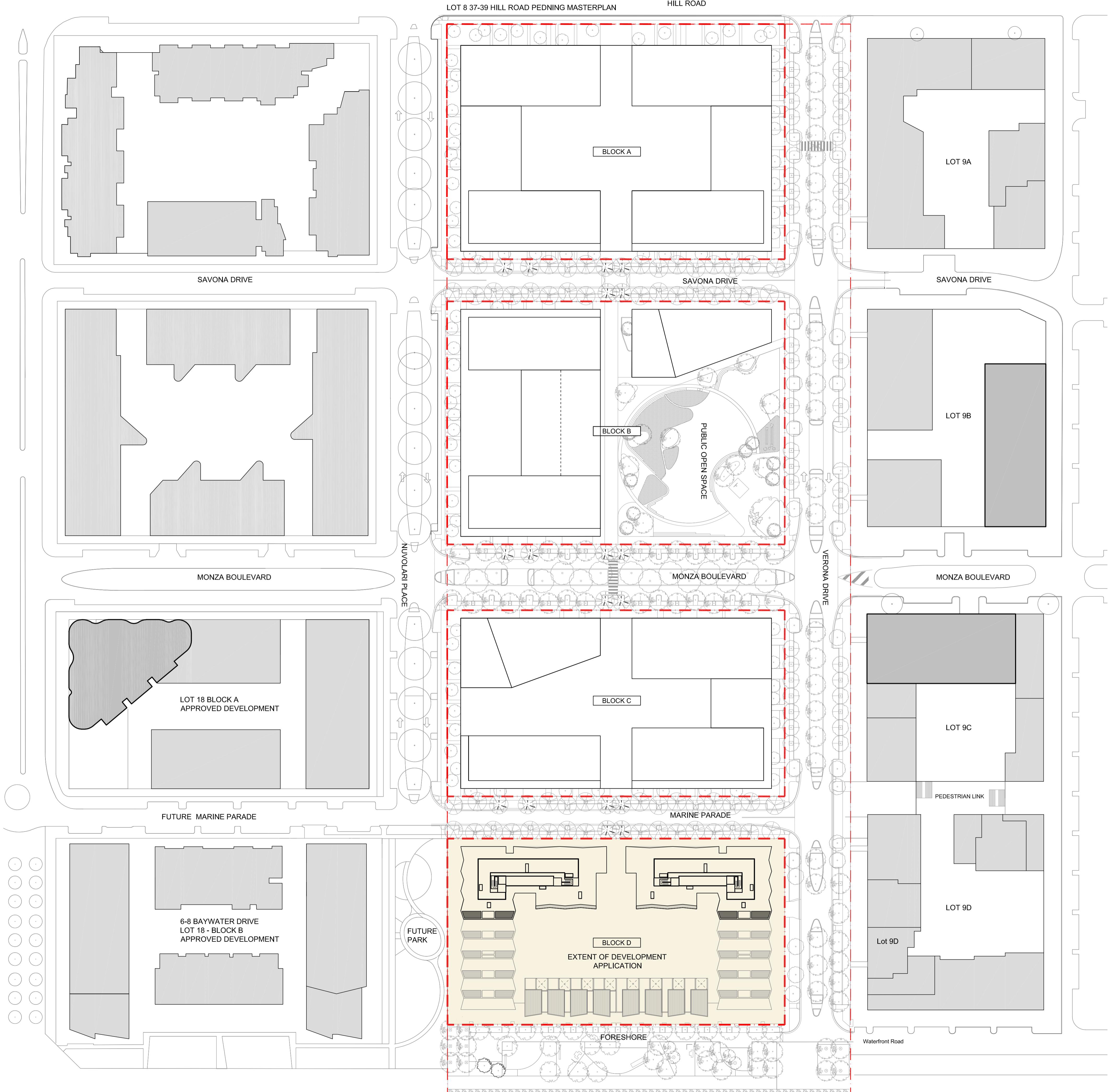


S12088A WENTWORTH POINT LOT 8

The logo consists of a vertical arrangement of red and black geometric shapes. At the top is a red 'T' shape. Below it is a red 'M' shape with a wavy, striped texture. The next section is a red 'A' shape with a diagonal cut. This is followed by a red 'N' shape with a diagonal cut. Below these is a red 'G' shape with a wavy, striped texture. At the bottom is a black 'M' shape with a wavy, striped texture. The 'M' shapes are the central element, with the red ones above and the black ones below.







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37 - 39 Hill Road Wentworth Pt, Block D

Proposed Site Plan

Scale 1:750 @ A1
 Drawn AL Checked HC
 Project No. s12088a
 Status Development Application
 Plot Date 14/11/2018 4:08 PM
 Plot File S:\12000-2099s\12088a\cityfreehold_wentworth\plot870_CAD...
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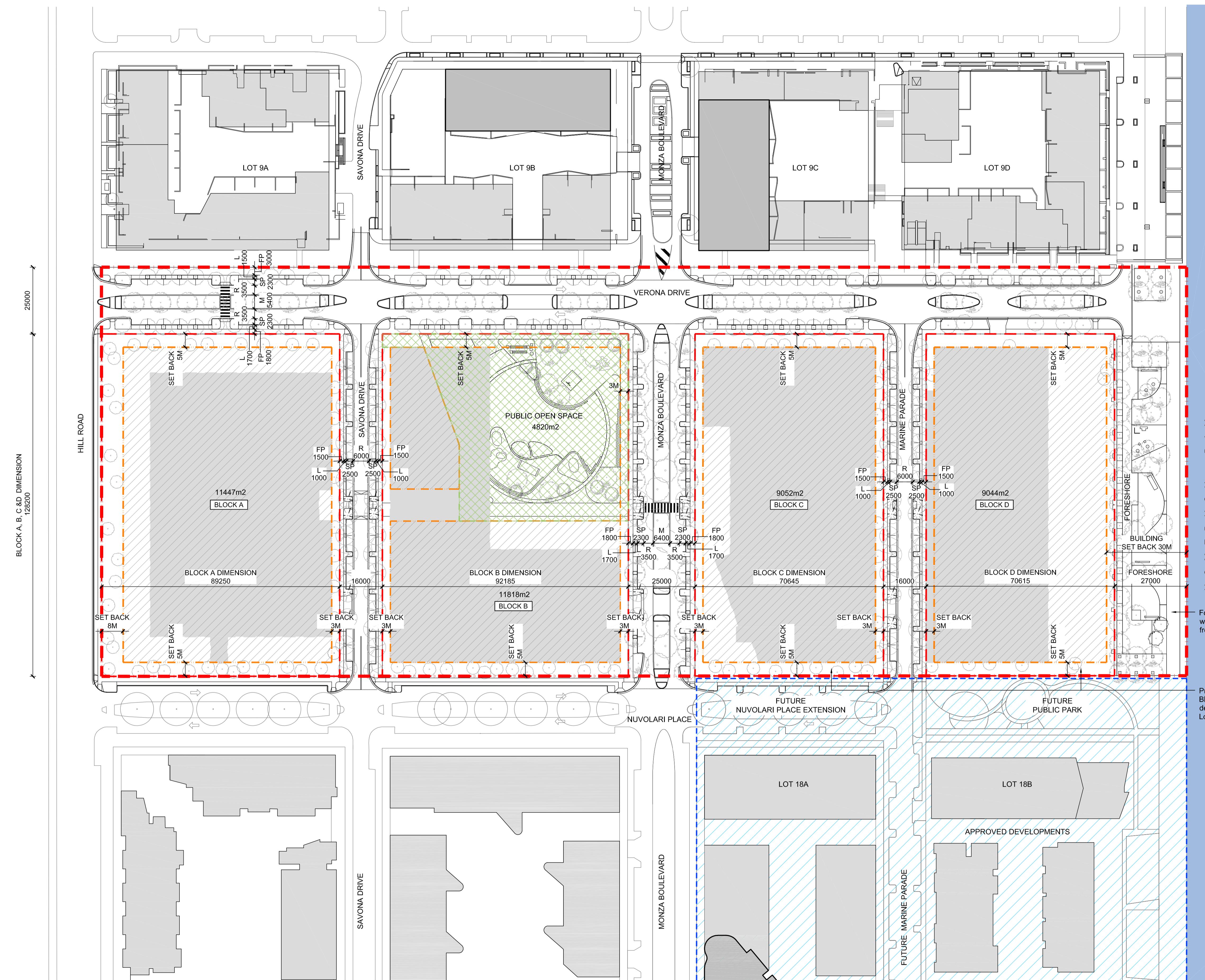
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**37-39 Hill Road
Wentworth Point**
Masterplan
Public Domain Alignment

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Scale 1:750@A1
Drawn AL Checked HC
Project No. S12088
Status SECTION 96
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Drawing No. [Revision]

A02.006[D]

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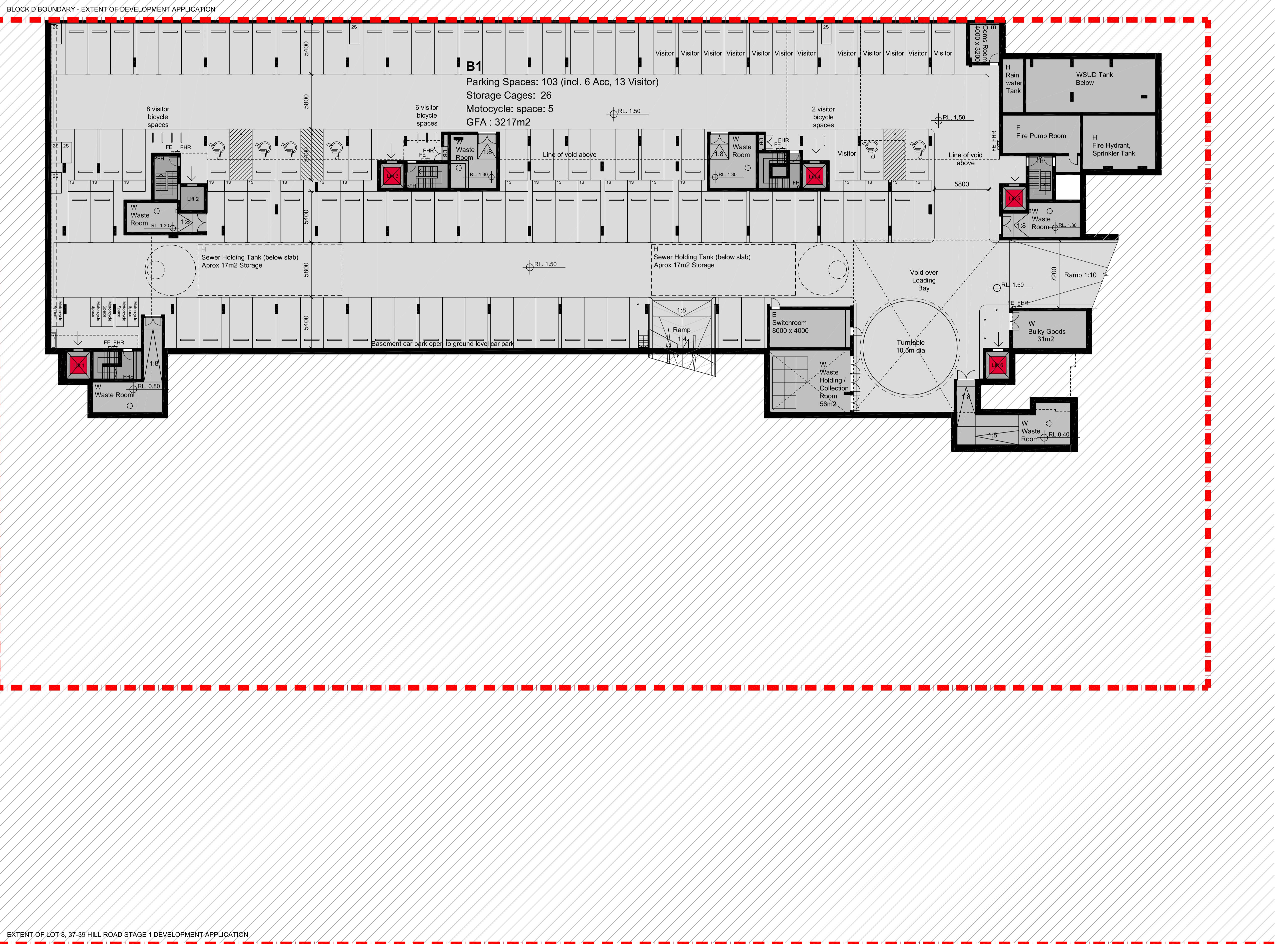
All drawings to be read in conjunction with all architectural documents and all other consultants documents.

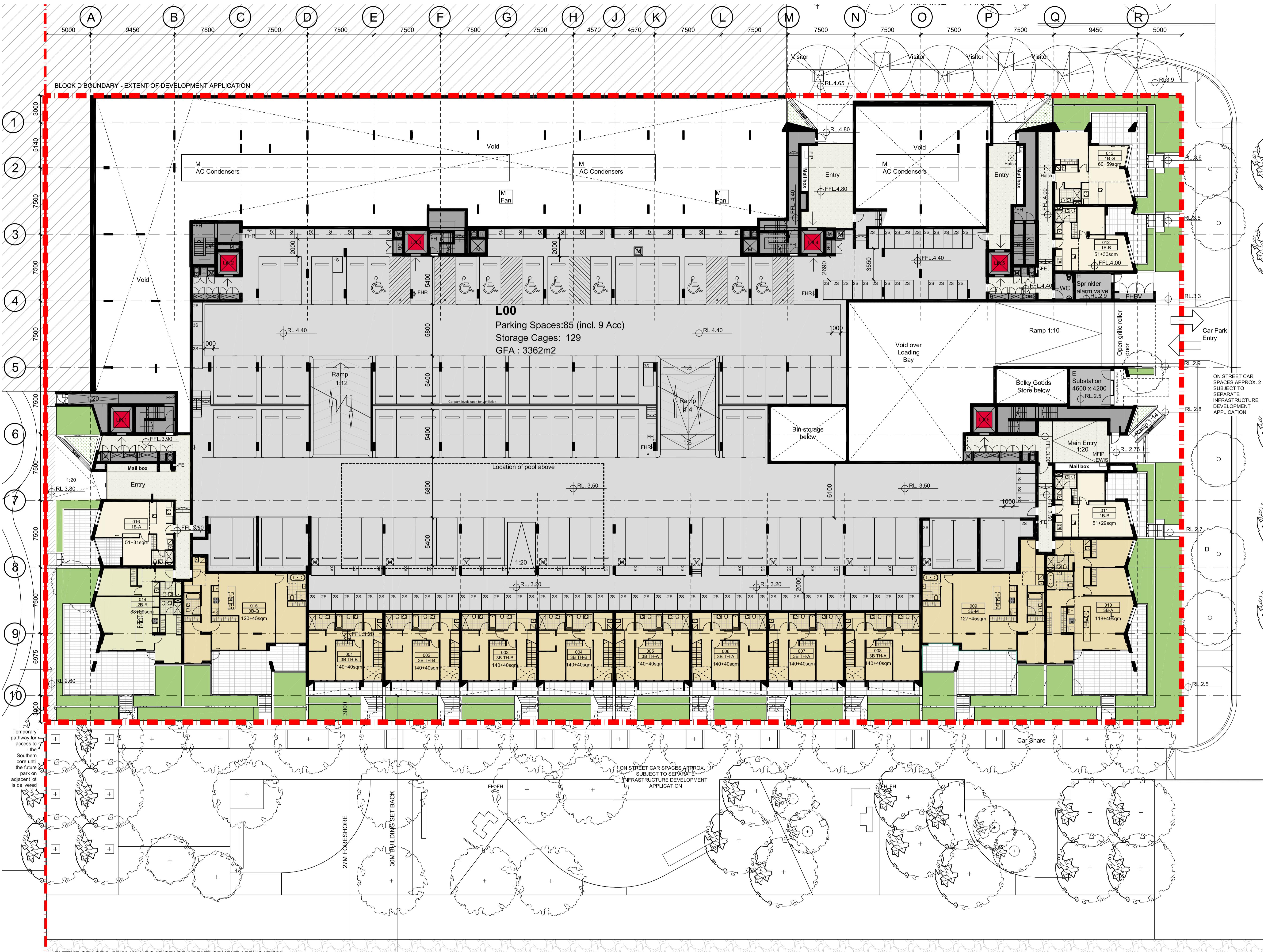
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LEGEND

DB	Distribution Board
FH	Fire Hydrant
FE	Fire Extinguisher
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
H	Hot and Cold Water, Gas Meter cupboard
M	Mechanical
E	Electrical





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LEGEND

- DB Distribution Board
- FH Fire Hydrant
- FE Fire Extinguisher
- FHR Fire Hose Reel
- FIP Fire Indicator Panel
- H Hot and Cold Water, Gas Meter cupboard
- M Mechanical
- E Electrical

C 14.11.18 For Development Application AL HC
B 26.10.18 For Development Application AL HC
A 01.12.17 For Development Application AL HC
Revision Date Description Initial Checked

37 - 39 Hill Road
Wentworth Pt, Block D

Ground Floor Plan

Scale: 1:200 @ A1
Drawn: AL Checked: HC
Project No.: s12088a
Status: Development Application
Plot Date: 13/11/2018 10:27 AM
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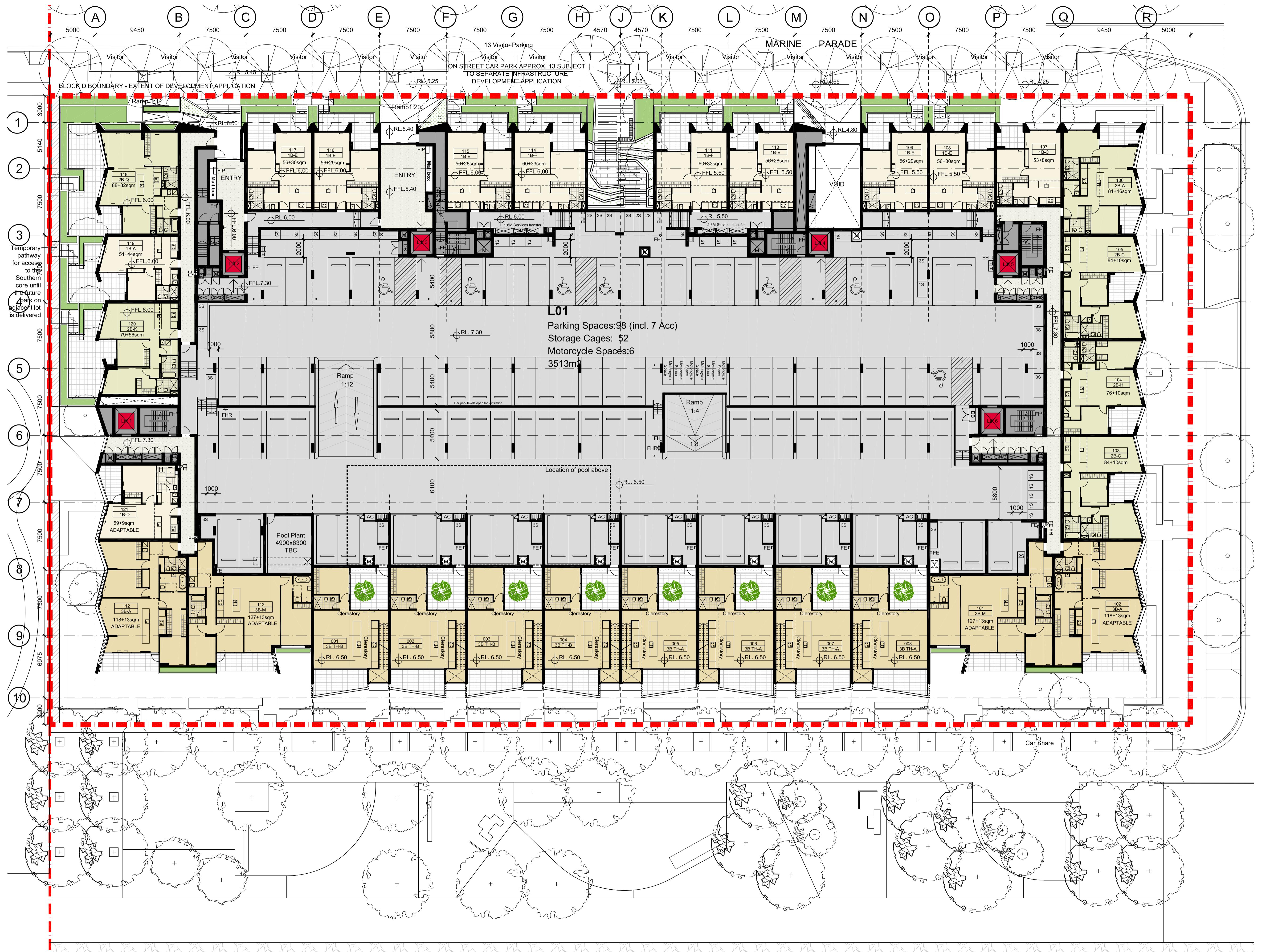
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END

- Distribution Board
- Fire Hydrant
- Fire Extinguisher
- Fire Hose Reel
- Fire Indicator Panel
- Hot and Cold Water, Gas Meter cupboard
- Mechanical
- Electrical

14.11.18	For Development Application	AL	HC
26.10.18	For Development Application	AL	HC
01.12.17	For Development Application	AL	HC

7 - 39 Hill Road
Centworth Pt, Block D
Level 01 Plan

1:200 @ A1		
AL	Checked	HC
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	Development Application	
Date	13/11/2018 11:46 AM	
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Page No.	[Revision]	

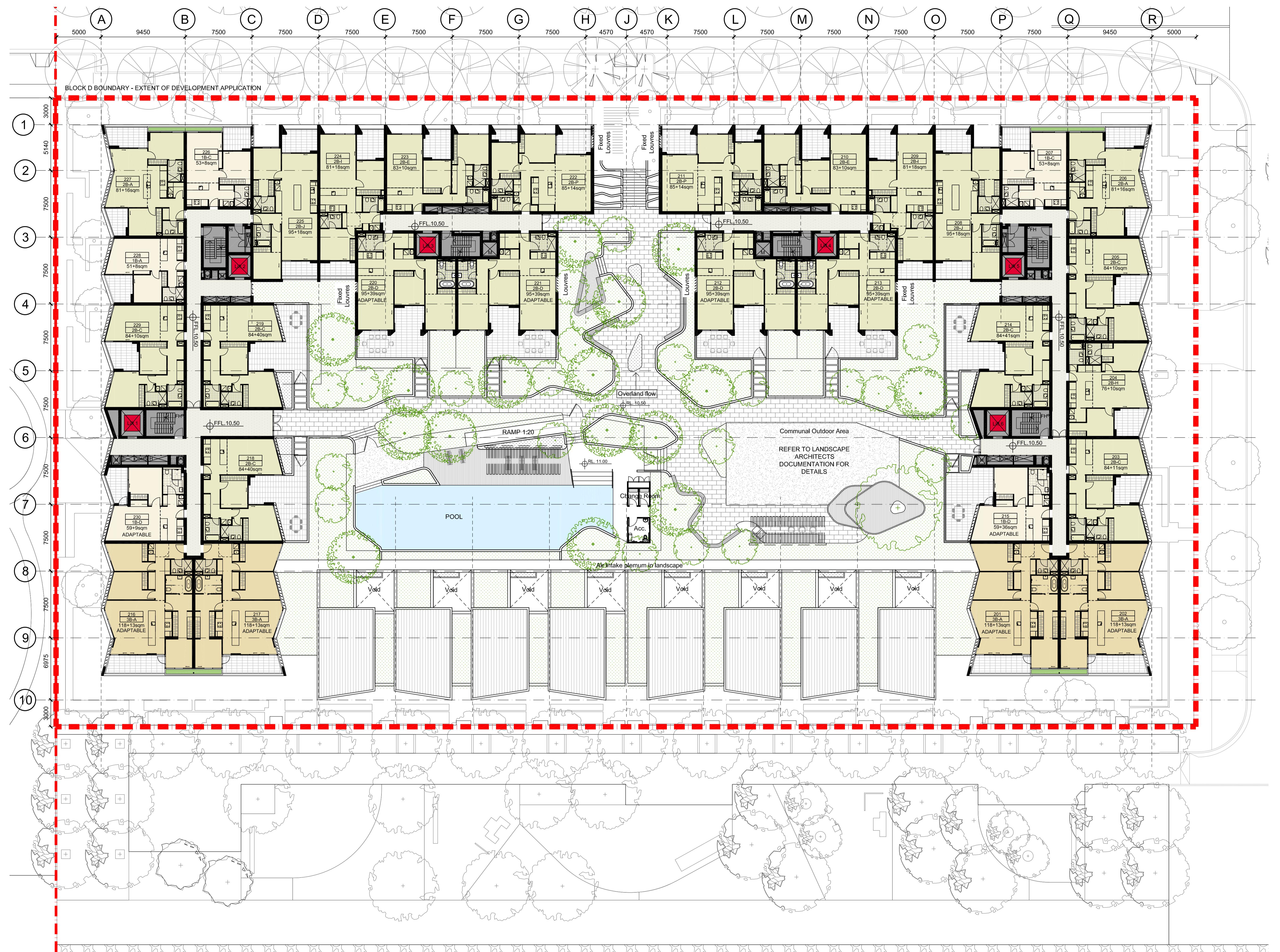
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GEND

- Distribution Board
- Fire Hydrant
- Fire Extinguisher
- Fire Hose Reel
- Fire Indicator Panel
- Hot and Cold Water, Gas Meter cupboard
- Mechanical
- Electrical

14.11.18	For Development Application	AL	HC
26.10.18	For Development Application	AL	HC
01.12.17	For Development Application	AL	HC

7 - 39 Hill Road
Wentworth Pt, Block D
Level 02 Plan

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ect No.	s12088a	
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Date	13/11/2018 10:28 AM	
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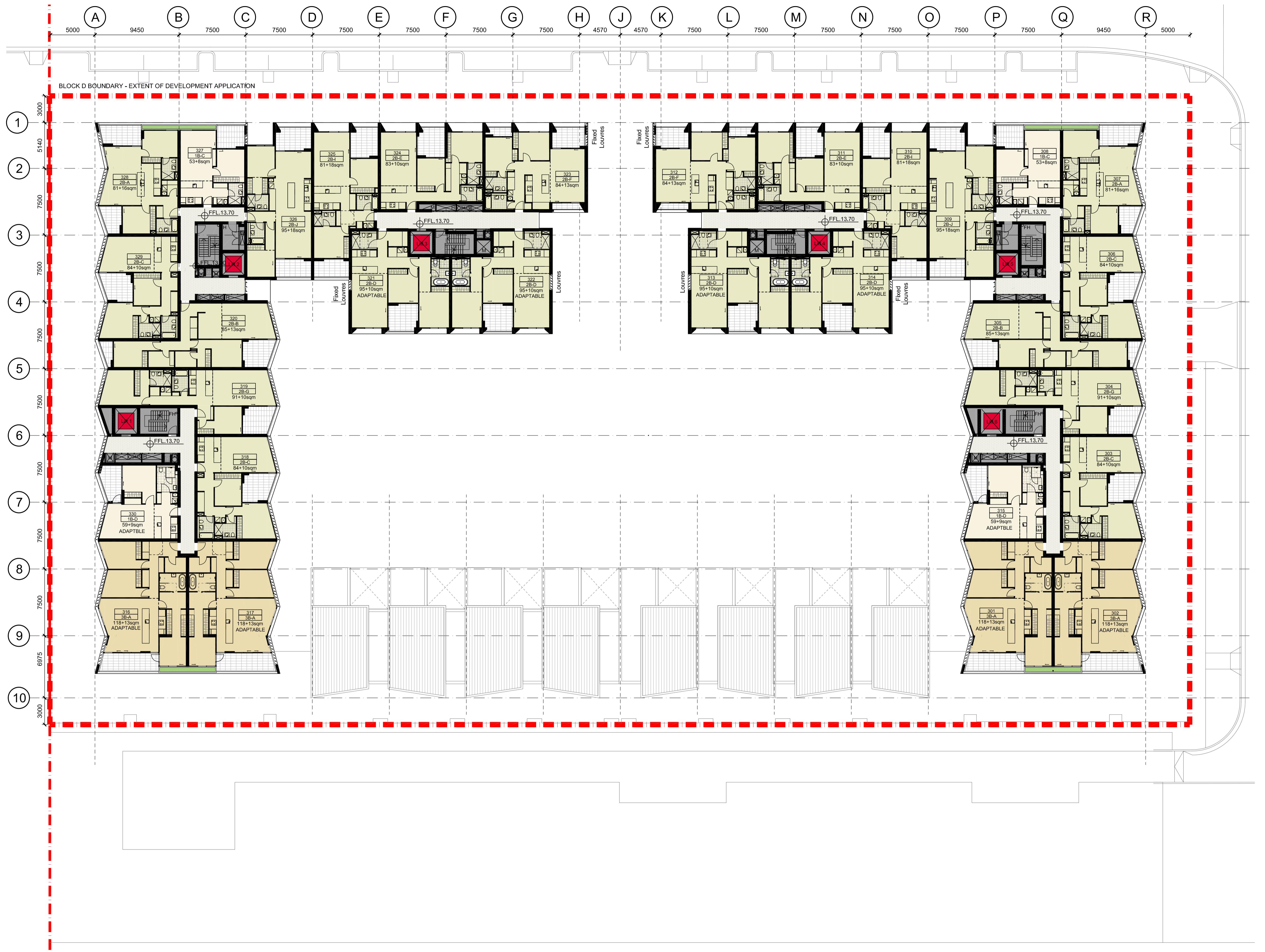
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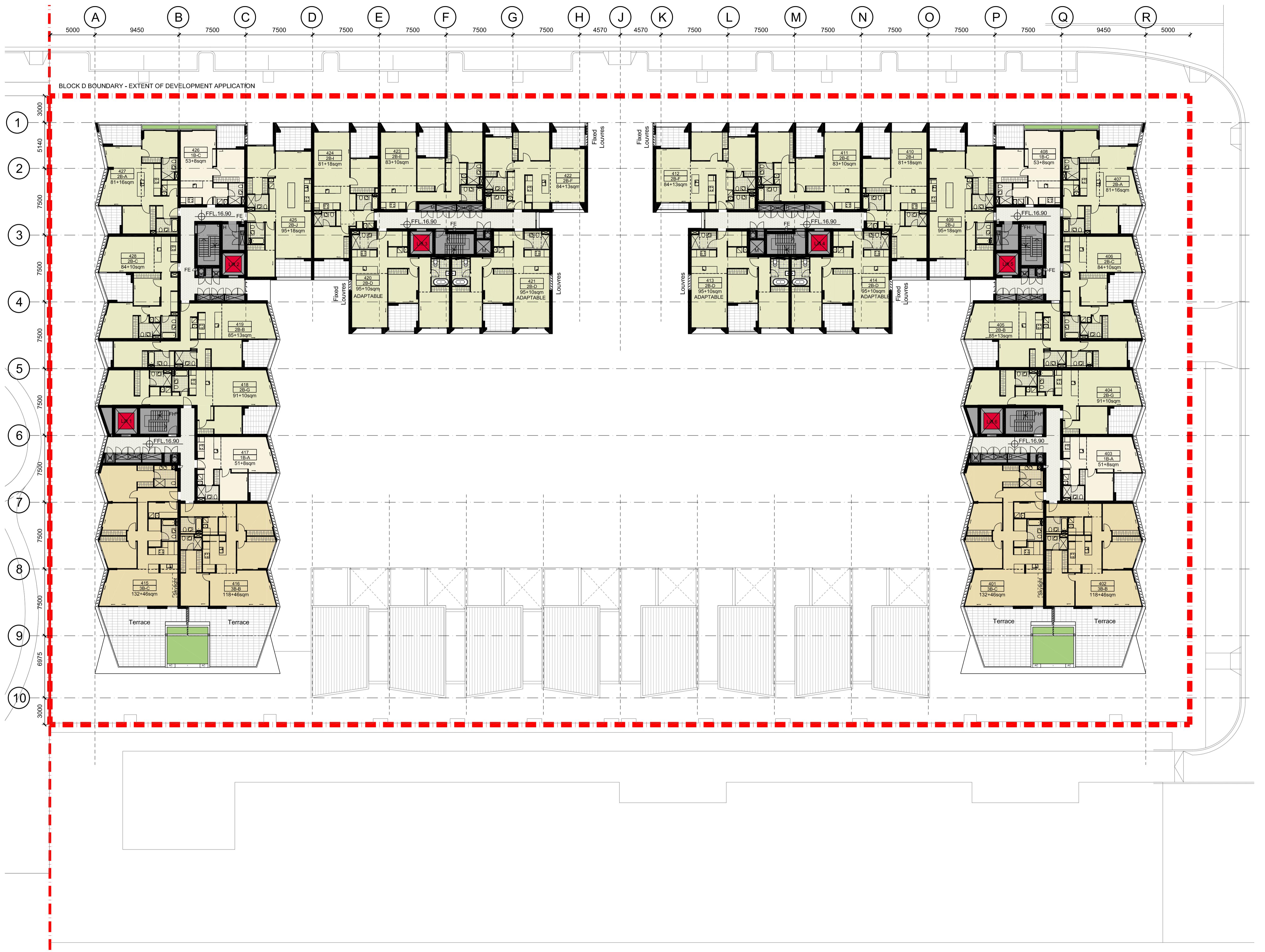
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LEGEND

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FH	Fire Hydrant
FE	Fire Extinguisher
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
H	Hot and Cold Water, Gas Meter cupboard
M	Mechanical
E	Electrical

C 14.11.18 For Development Application AL HC
 B 26.10.18 For Development Application AL HC
 A 01.12.17 For Development Application AL HC
 Revision Date Description Initial Checked

37 - 39 Hill Road
 Wentworth Pt, Block D

Level 04 Plan



Scale 1:200 @ A1
 Drawn AL Checked HC
 Project No. s12088a
 Status Development Application
 Plot Date 13/11/2018 10:28 AM
 Plot File S:\1200-2099\s12088a_cy\freehold_wentworth\plot870_CAD...\\Plots\DAVA03.004[C].dwg
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A03.004[C]

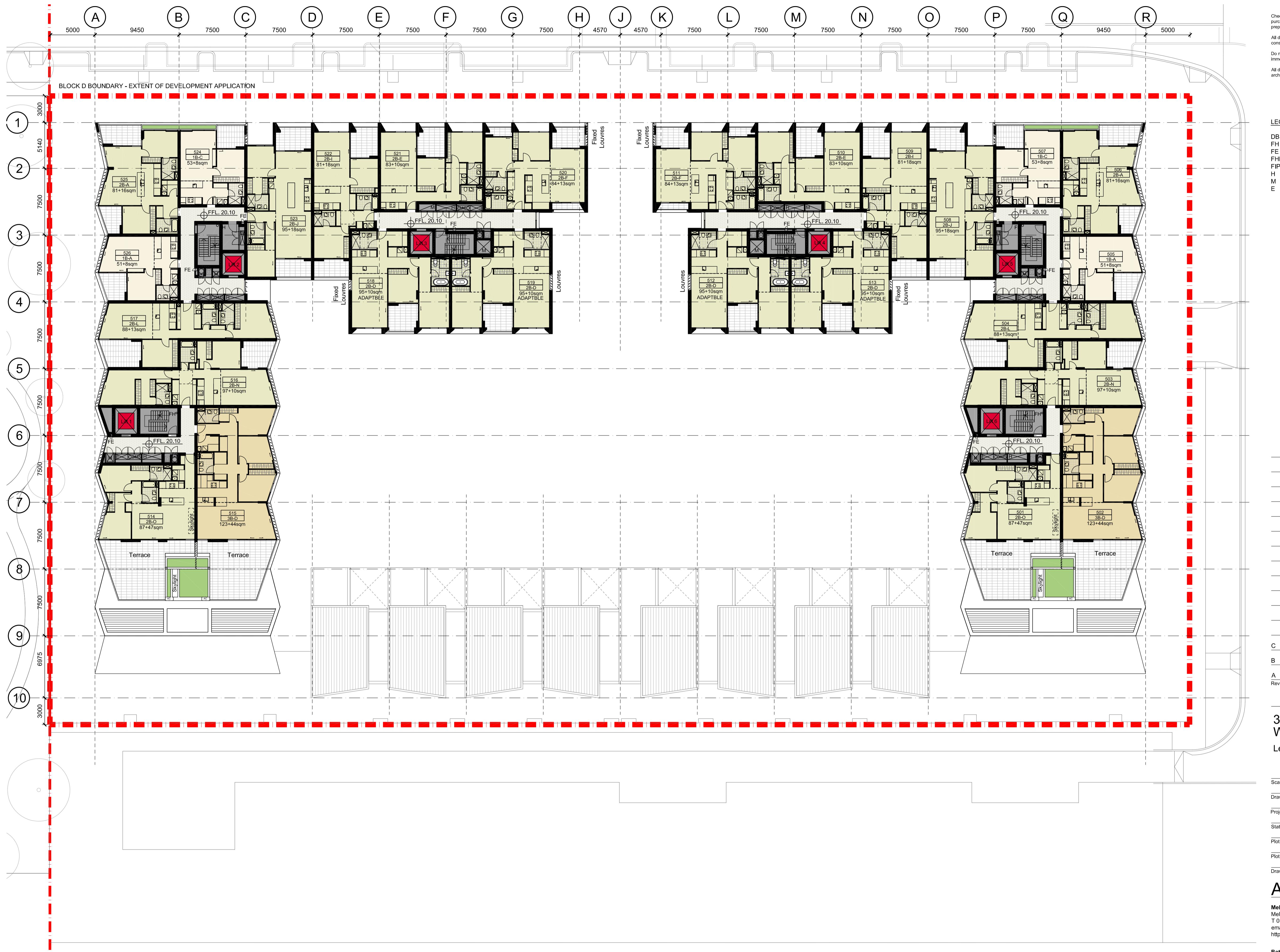
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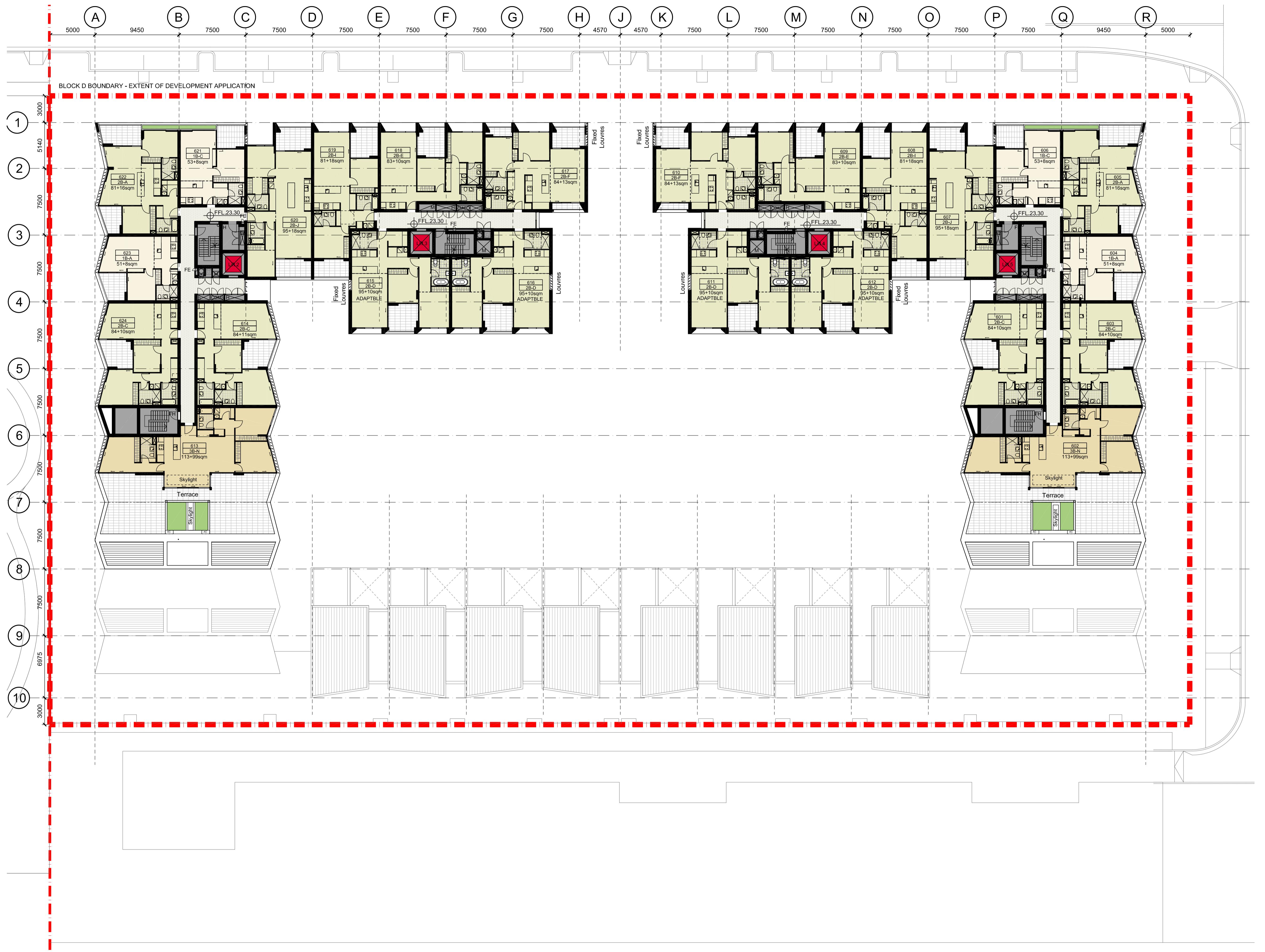


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LEGEND

DB	Distribution Board
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FE	Fire Extinguisher
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
H	Hot and Cold Water, Gas Meter cupboard
M	Mechanical
E	Electrical

C 14.11.18 For Development Application AL HC
 B 26.10.18 For Development Application AL HC
 A 01.12.17 For Development Application AL HC
 Revision Date Description Initial Checked

37 - 39 Hill Road
 Wentworth Pt, Block D

Level 06 Plan



Scale 1:200 @ A1
 Drawn AL Checked HC
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 Status Development Application
 Plot Date 13/11/2018 10:29 AM
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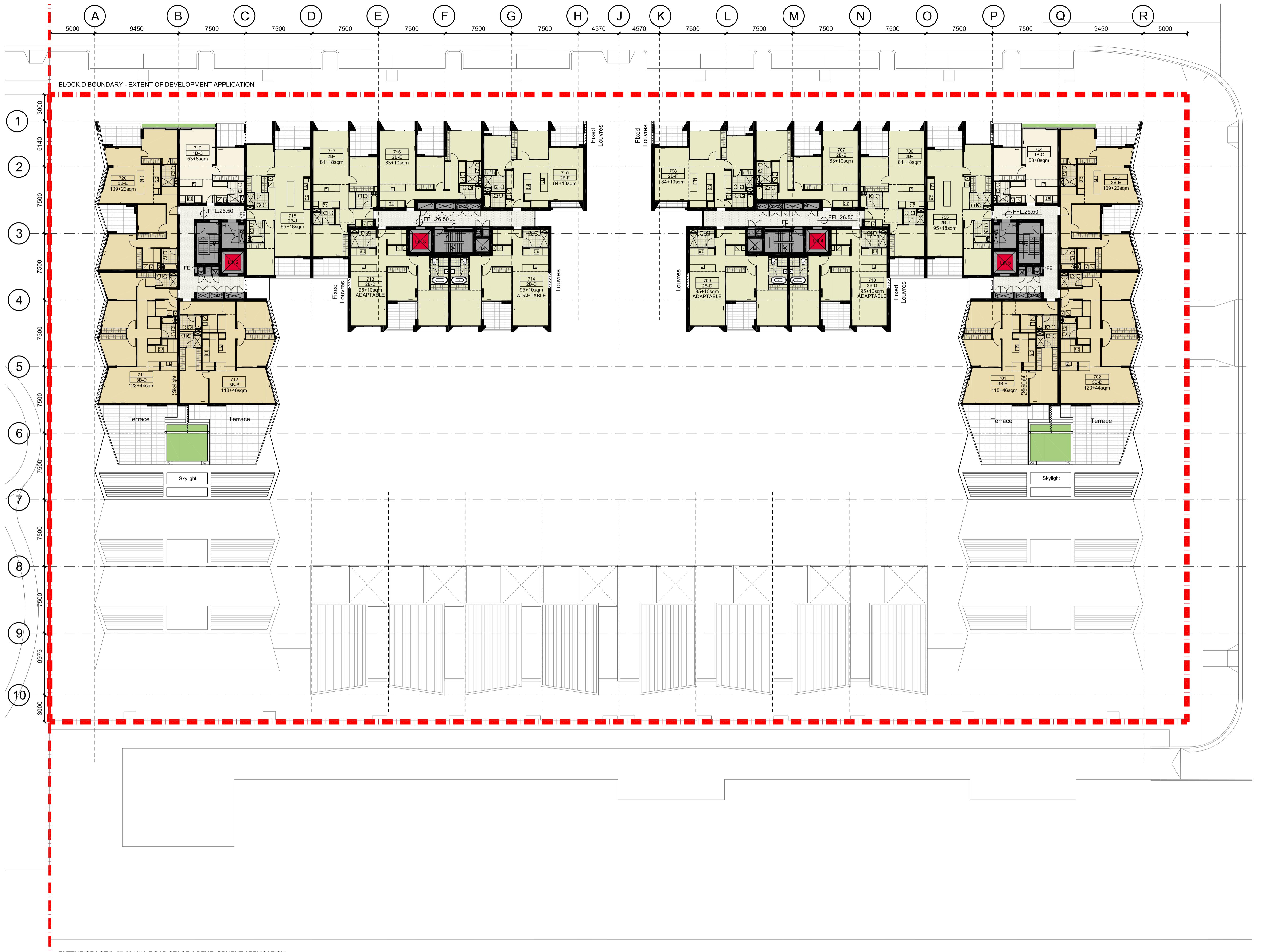
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LEGEND

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FE	Fire Extinguisher
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
H	Hot and Cold Water, Gas Meter cupboard
M	Mechanical
E	Electrical

C 14.11.18 For Development Application AL HC
 B 26.10.18 For Development Application AL HC
 A 01.12.17 For Development Application AL HC
 Revision Date Description Initial Checked

37 - 39 Hill Road
Wentworth Pt, Block D



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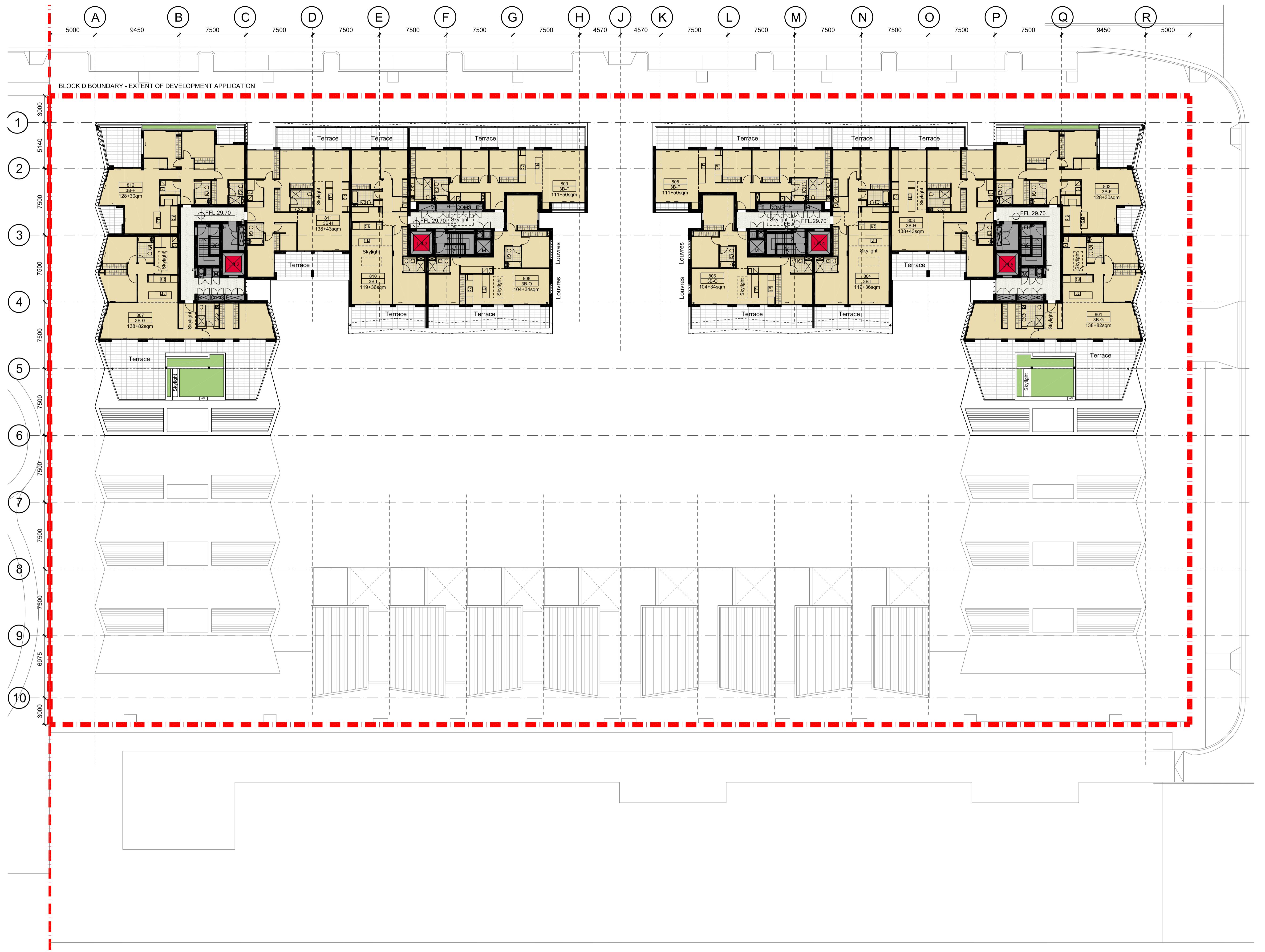
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LEGEND

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FE	Fire Extinguisher
FHR	Fire Hose Reel
FIP	Fire Indicator Panel
H	Hot and Cold Water, Gas Meter cupboard
M	Mechanical
E	Electrical

37 - 39 Hill Road
Wentworth Pt, Block D

Level 08 Plan



Scale 1:200 @ A1
 Drawn AL Checked HC
 Project No. s12088a
 Status Development Application
 Plot Date 13/11/2018 10:29 AM
 Plot File S:\1200-1209\9\12088a_cy\freehold_wentworth\plot870_CAD...\\Plots\DA03.008[C].dwg
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A03.008[C]

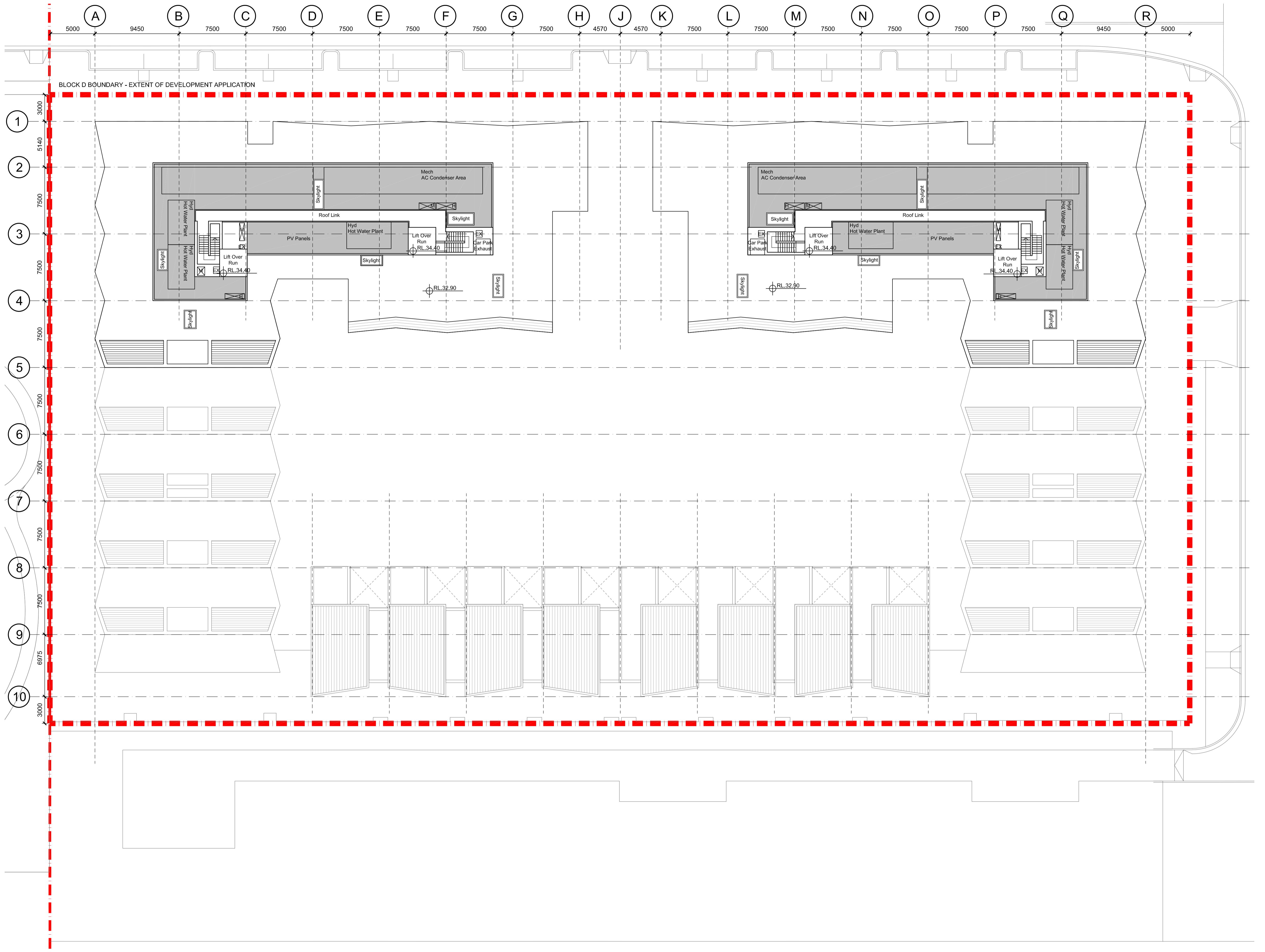
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LEGEND

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FHR	Fire Hose Reel
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E	Electrical

C 14.11.18 For Development Application AL HC
 B 26.10.18 For Development Application AL HC
 A 01.12.17 For Development Application AL HC
 Revision Date Description Initial Checked

37 - 39 Hill Road
 Wentworth Pt, Block D

Roof Plan



Scale 1:200 @ A1
 Drawn AL Checked HC
 Project No. s12088a
 Status Development Application
 Plot Date 13/11/2018 10:29 AM
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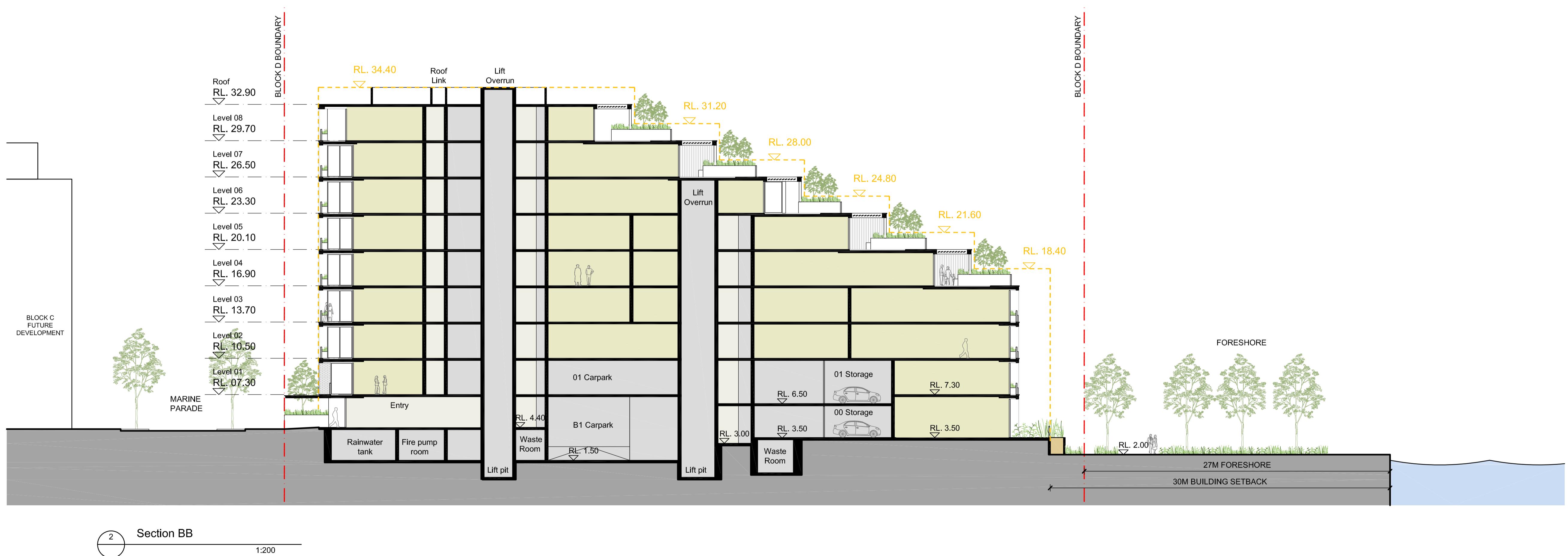
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KEY PLAN:

STAGE 1 SECTION 96 ENVELOPE: Indicated by a dashed line.



C 14.11.18 For Development Application AL HC
 B 26.10.18 For Development Application AL HC
 A 01.12.17 For Development Application AL HC
 Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Sections
Sheet 1

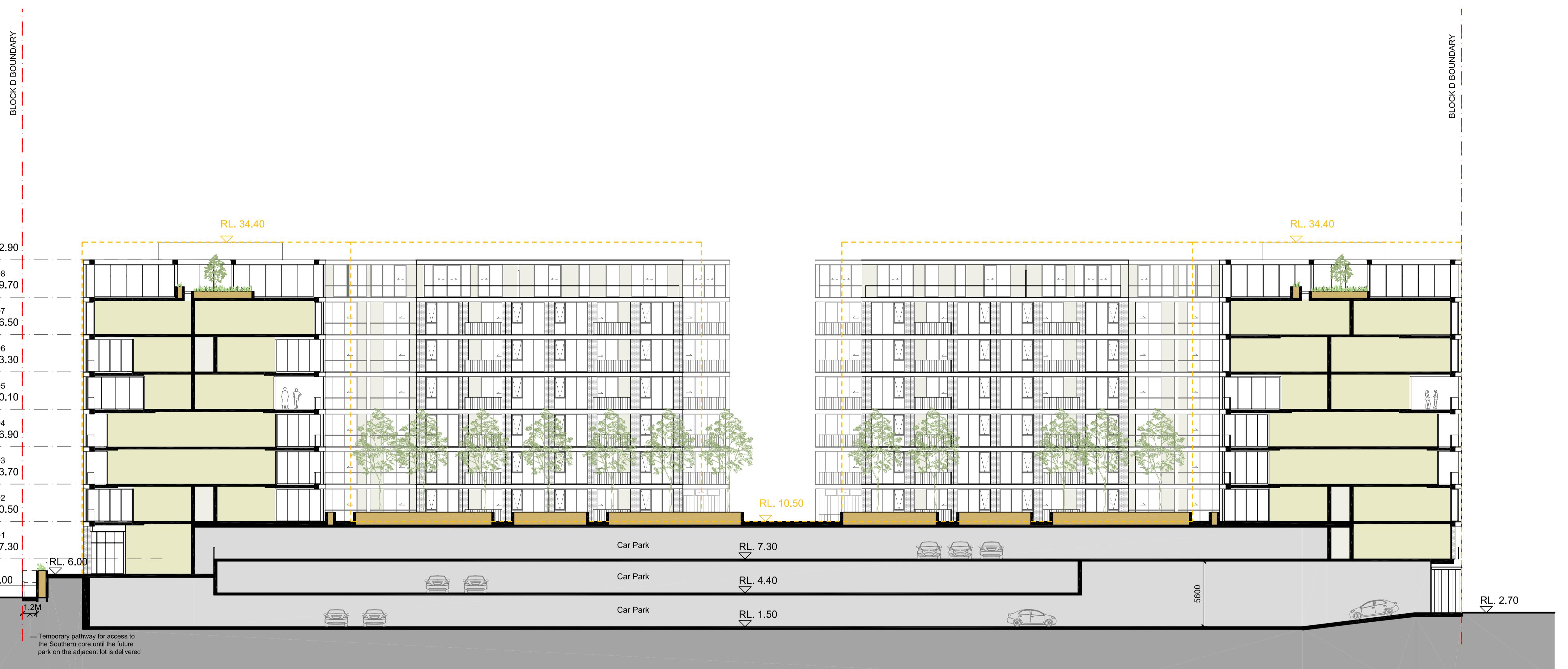
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 Drawing No. A08.001[C]

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37 - 39 Hill Road
Wentworth Pt, Block D

Sections
Sheet 2

Scale 1:200 @ A1
Drawn AL Checked HC
Project No. s12088a
Status Development Application
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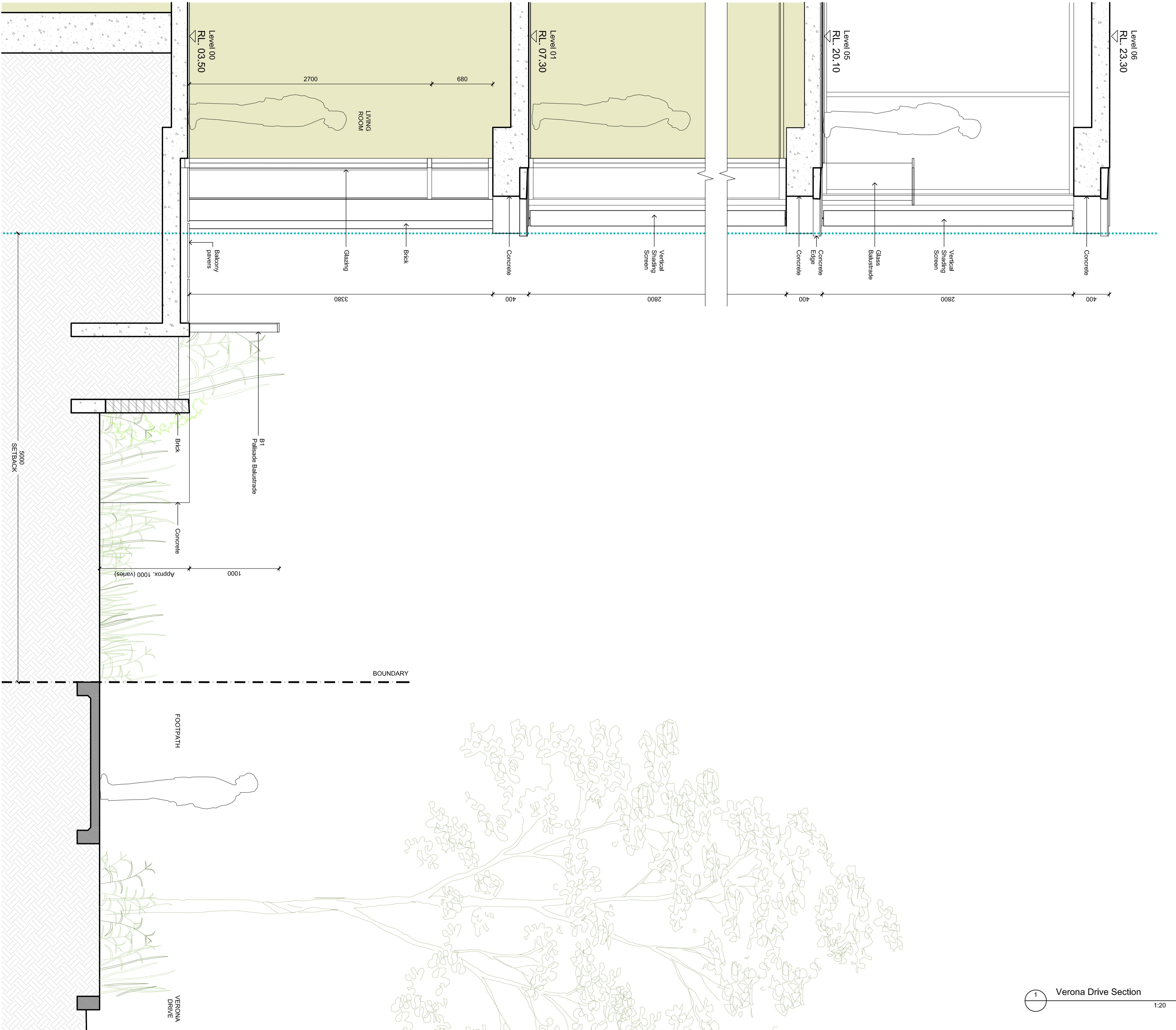
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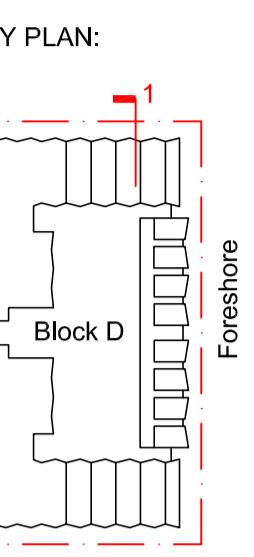
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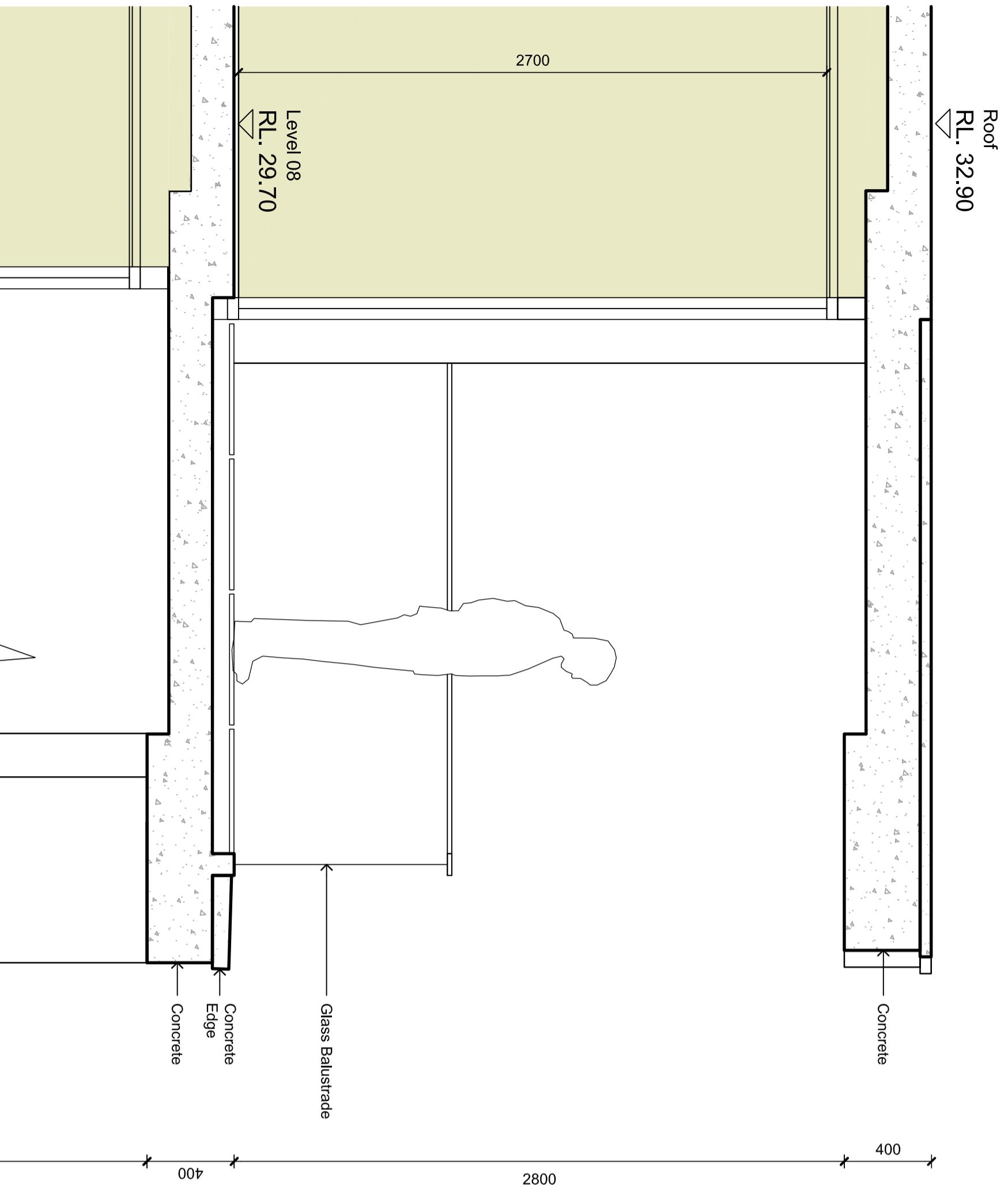
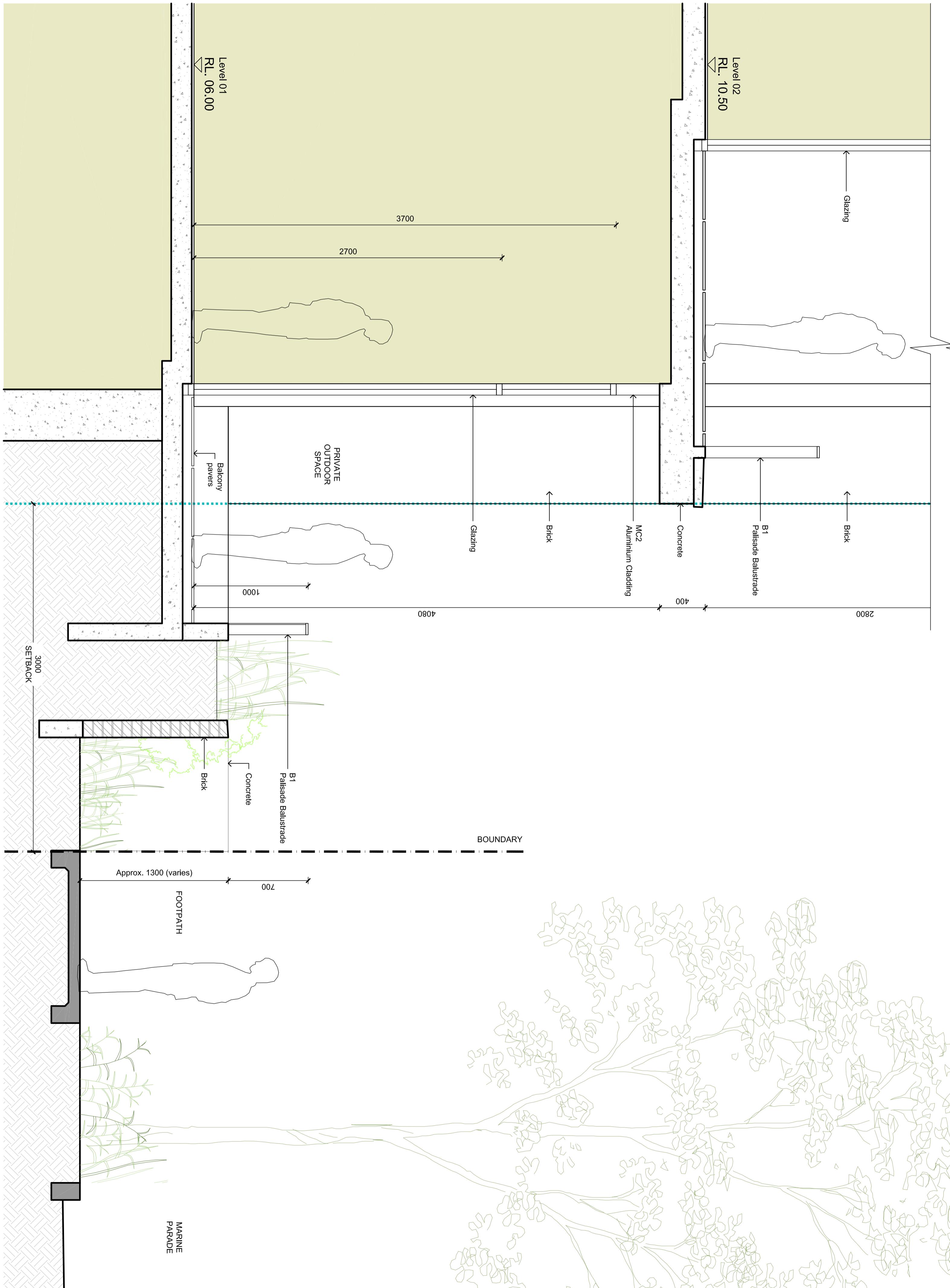


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KEY PLAN:

1

C 14.11.18 For Development Application AL HC
B 26.10.18 For Development Application AL HC
Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Sections - Detail
Sheet 2

Scale 1:20 @ A1
Drawn JT Checked
Project No. s12088a
Status Development Application
Plot Date 25/8/2017 9:36 AM
Plot File S:\12000-12099\912088a_cy\freehold_wentworthplot870_CAD...
Drawing No. [Revision]

A08.004[C]

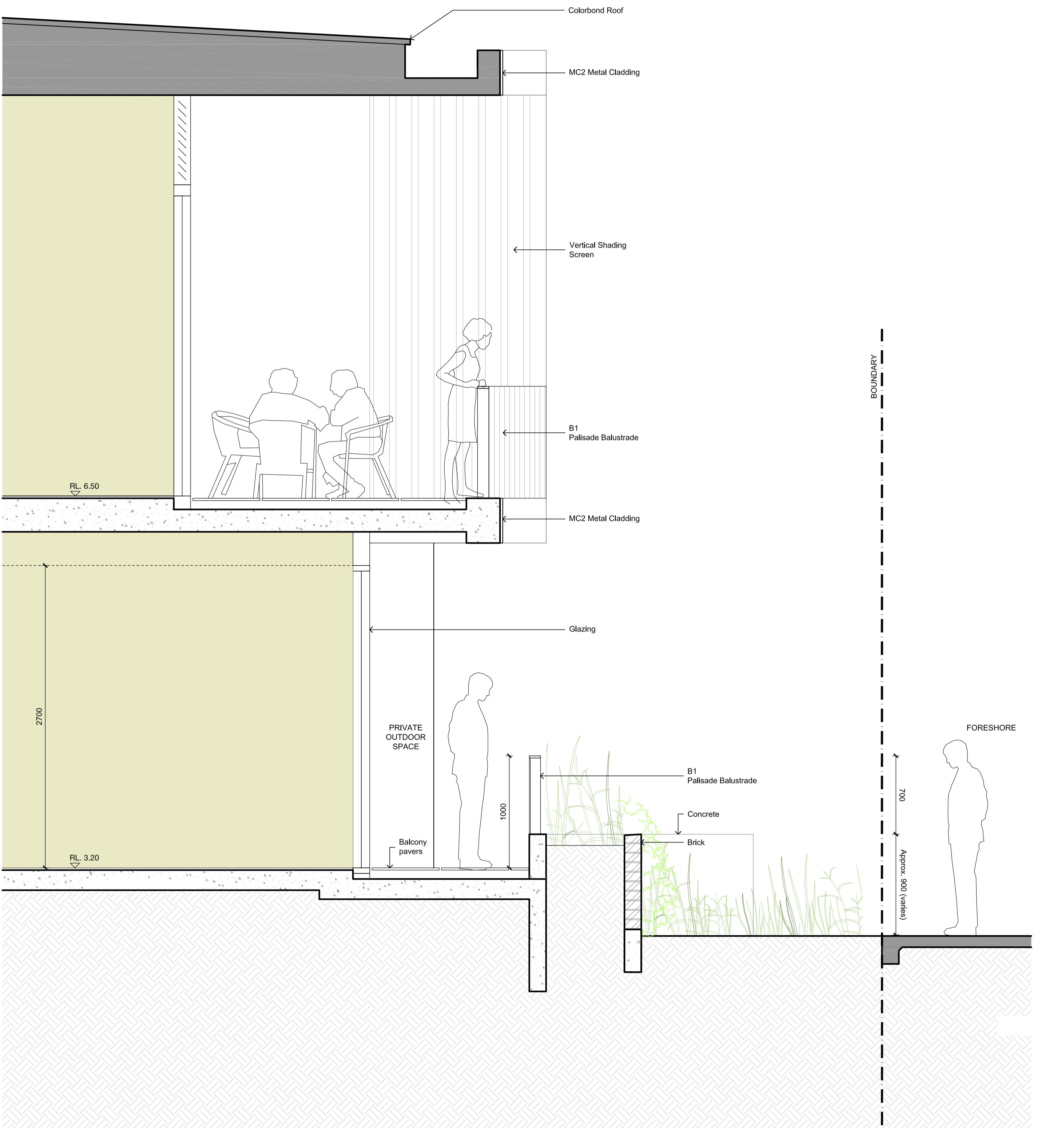
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1
Marine Parade Section
1:20

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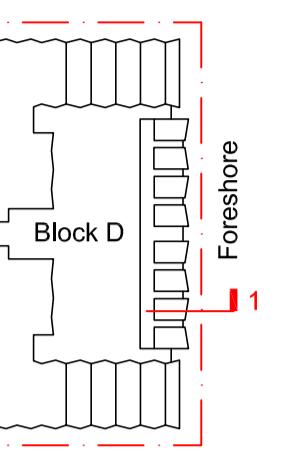
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KEY PLAN:



C	14.11.18	For Development Application	AL	HC
B	26.10.18	For Development Application	AL	HC
Revision Date		Description	Initial	Checked

37 - 39 Hill Road Wentworth Pt, Block D

Sections - Detail
Sheet 3

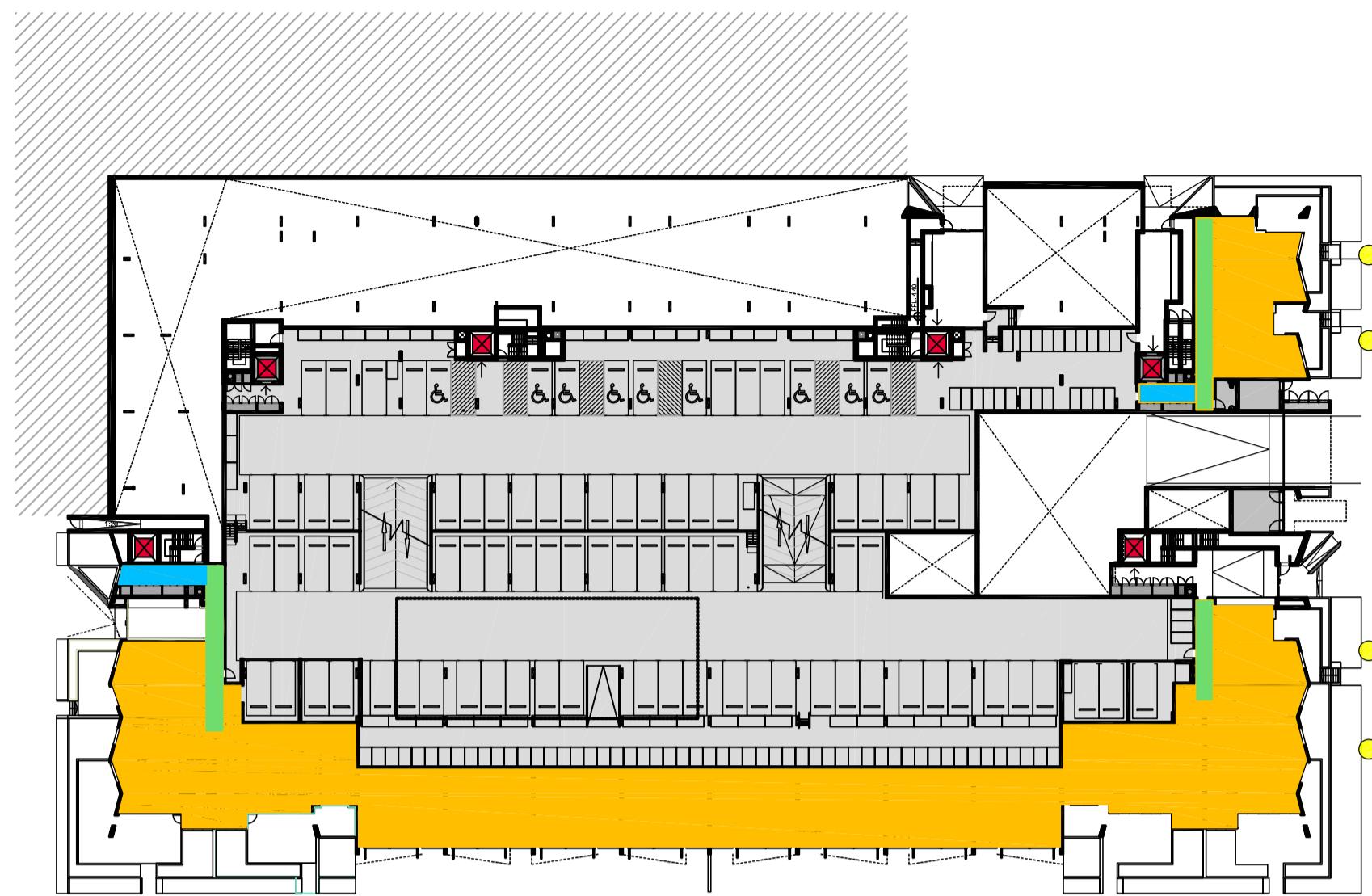
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Status Development Application
Plot Date 25/8/2017 9:36 AM
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Drawing No. [Revision]

A08.005[C]

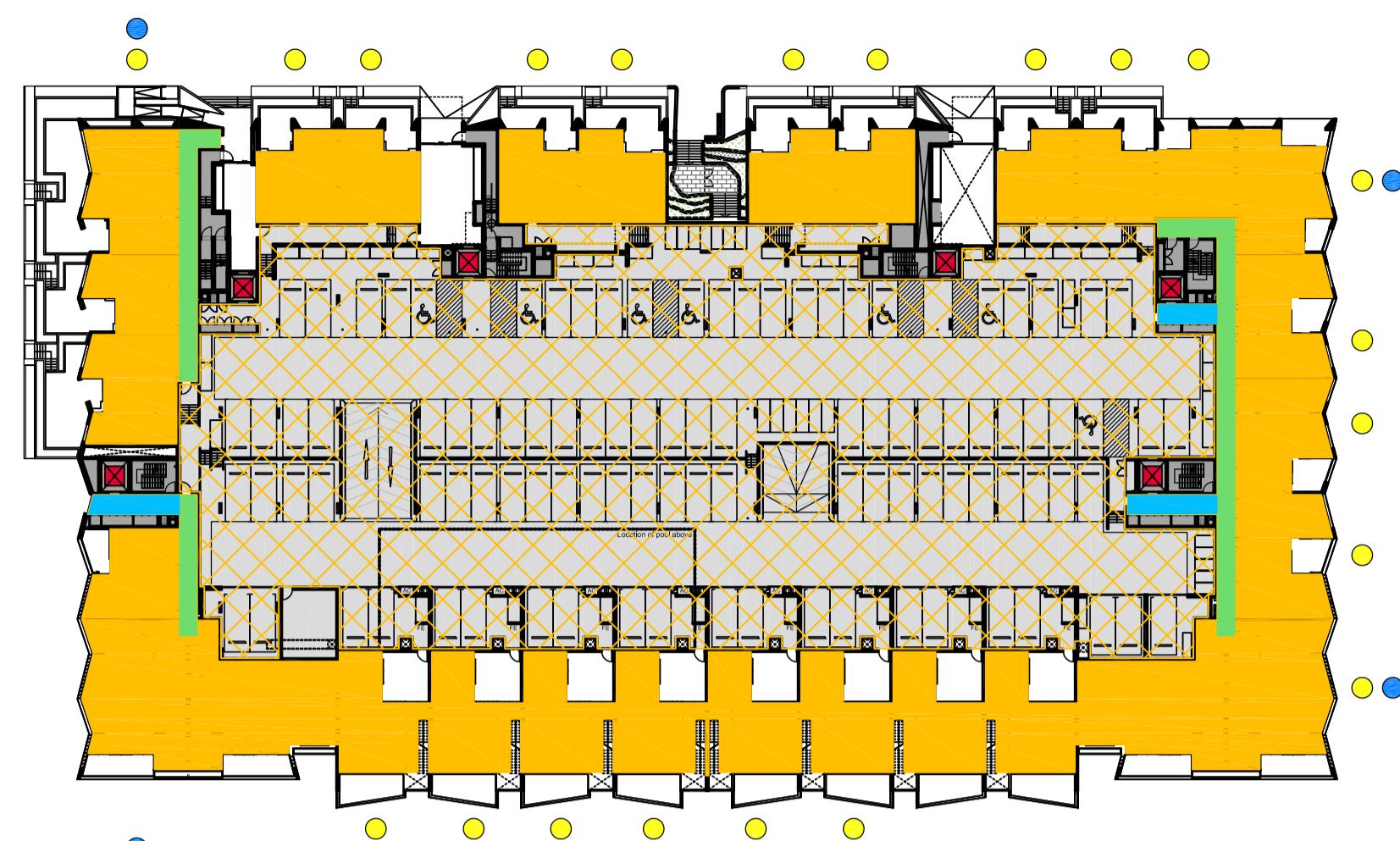
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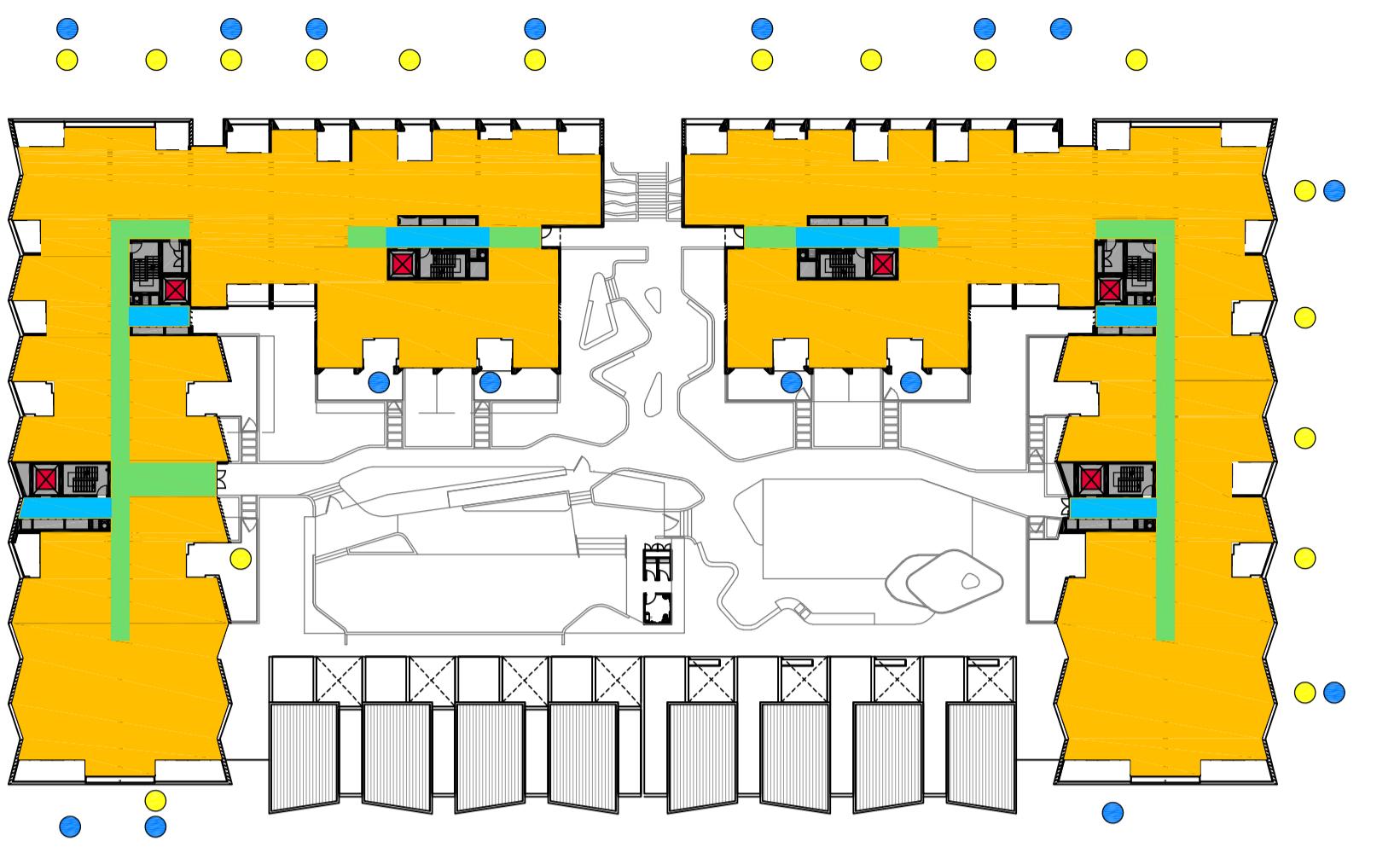
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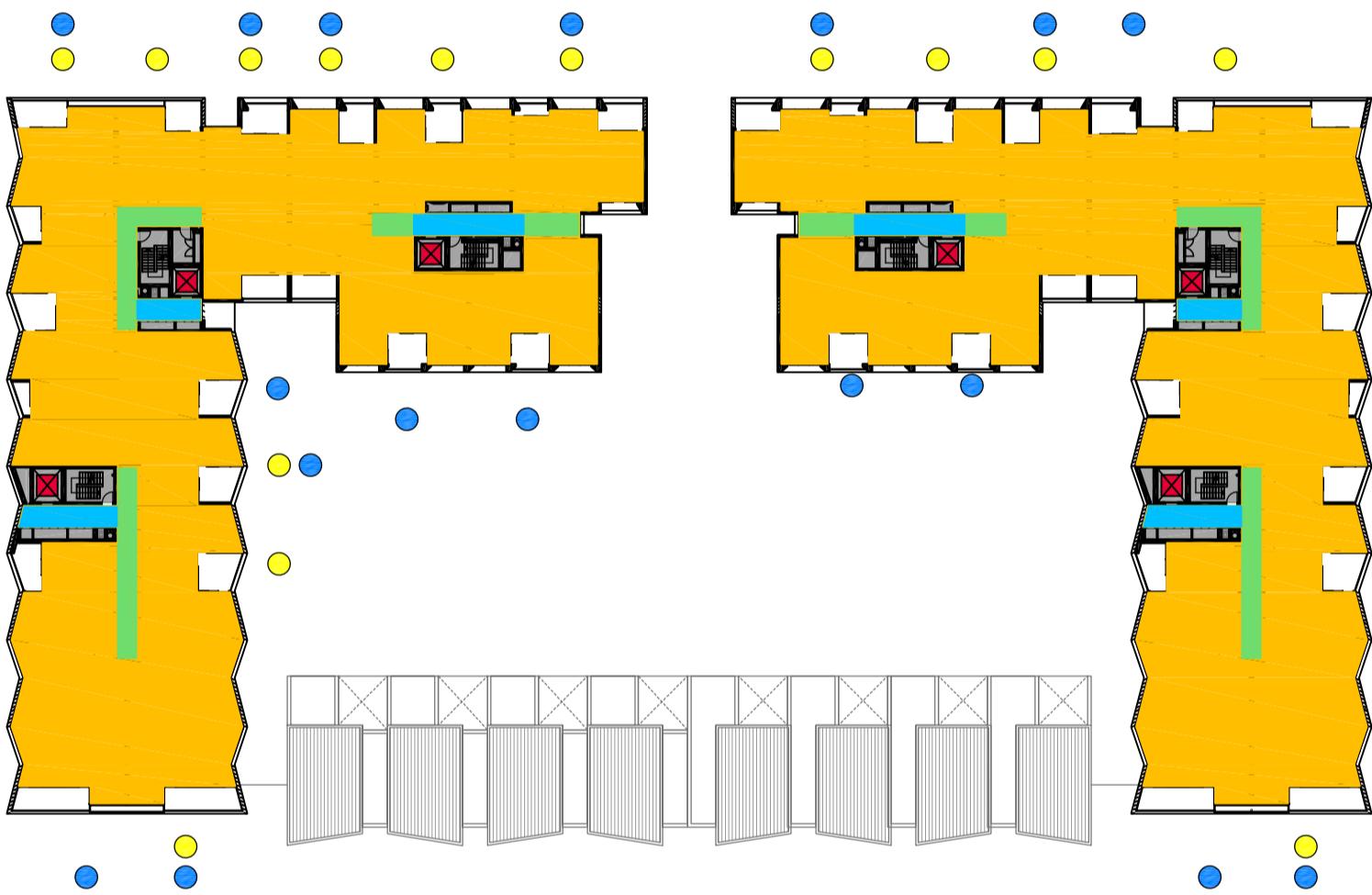
1 Level 00 Plan
FSA 1315sqm 1:600



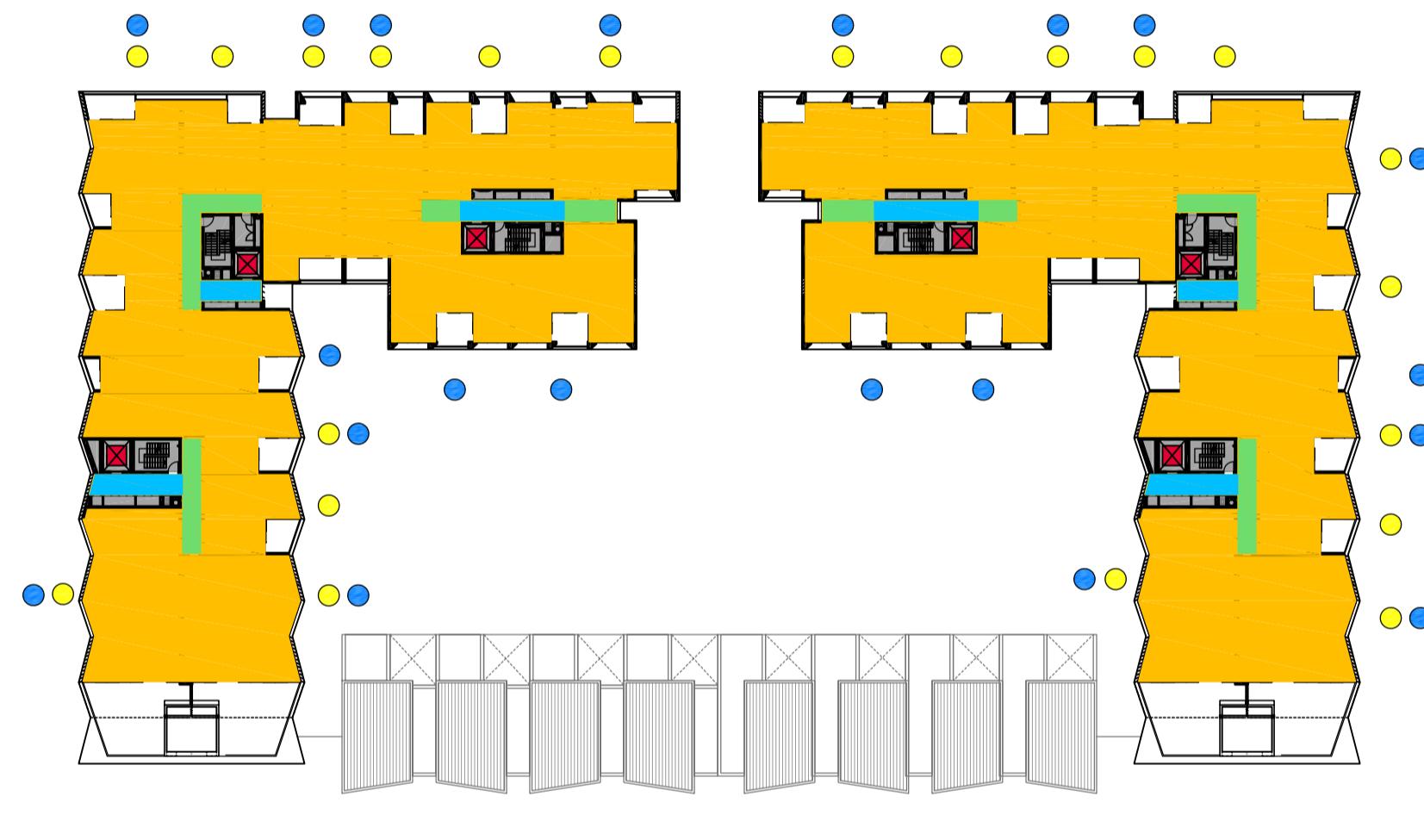
2 Level 01 Plan
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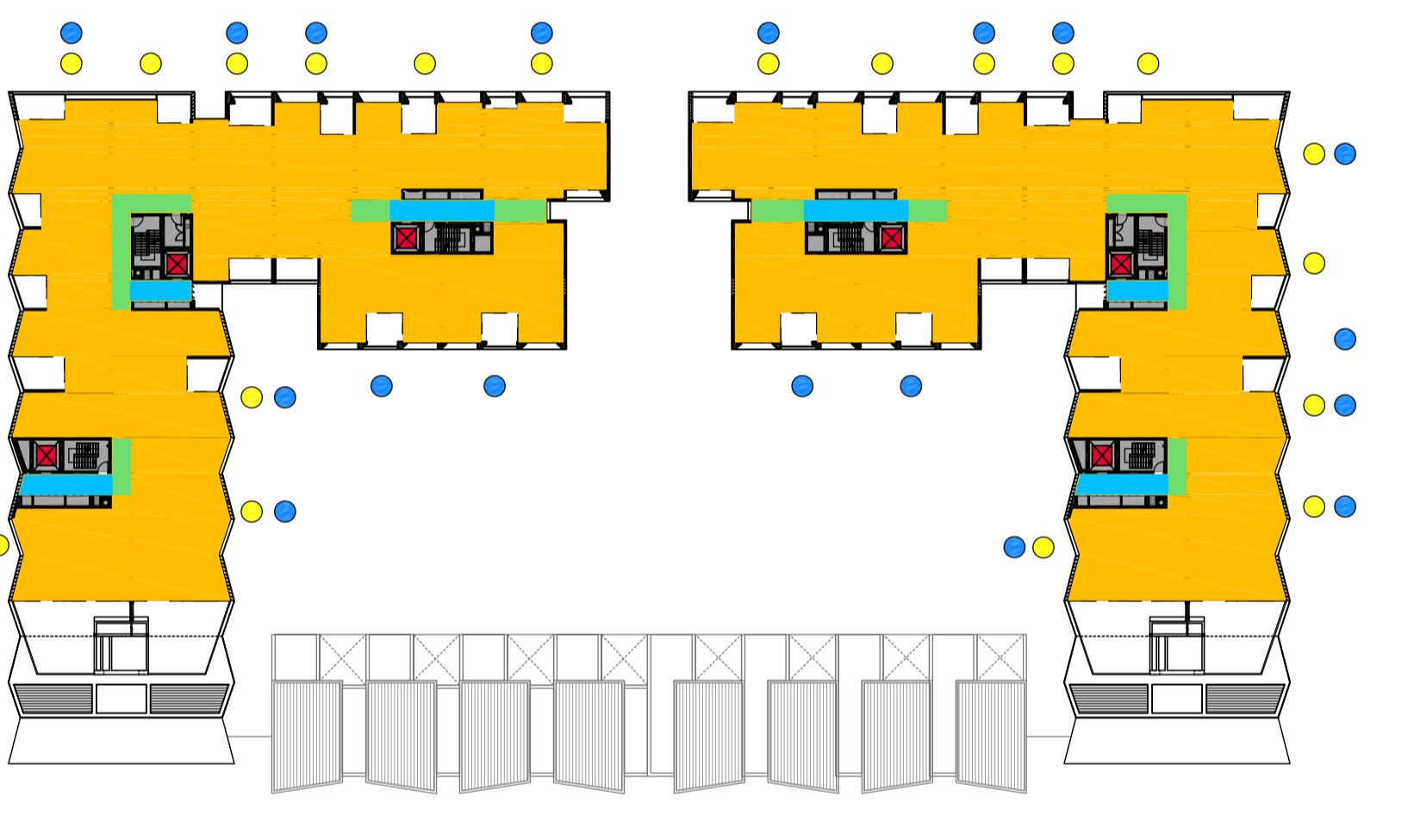
3 Level 02 Plan
FSA 2937sqm 1:600



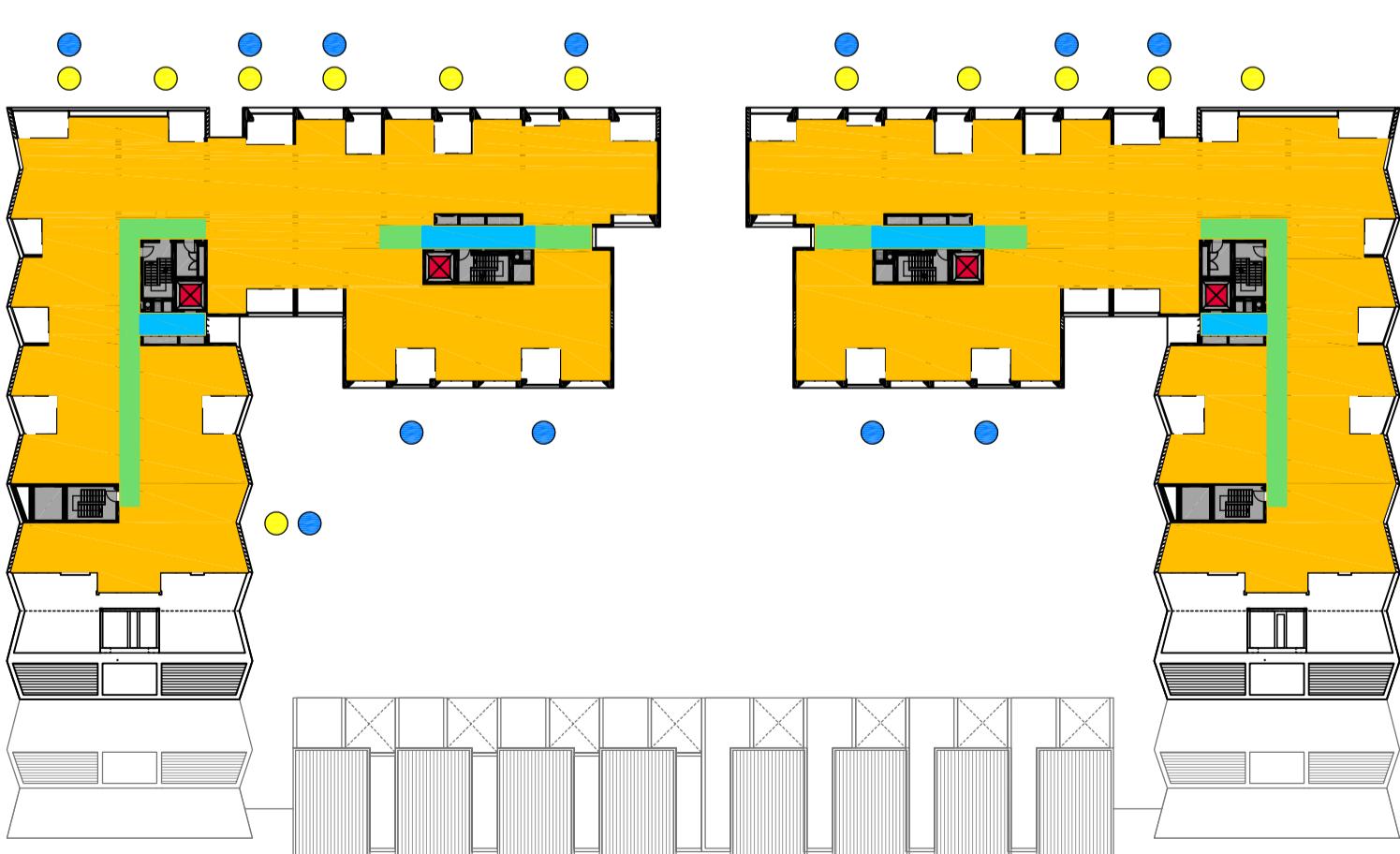
4 Level 03 Plan
FSA 2936sqm 1:600



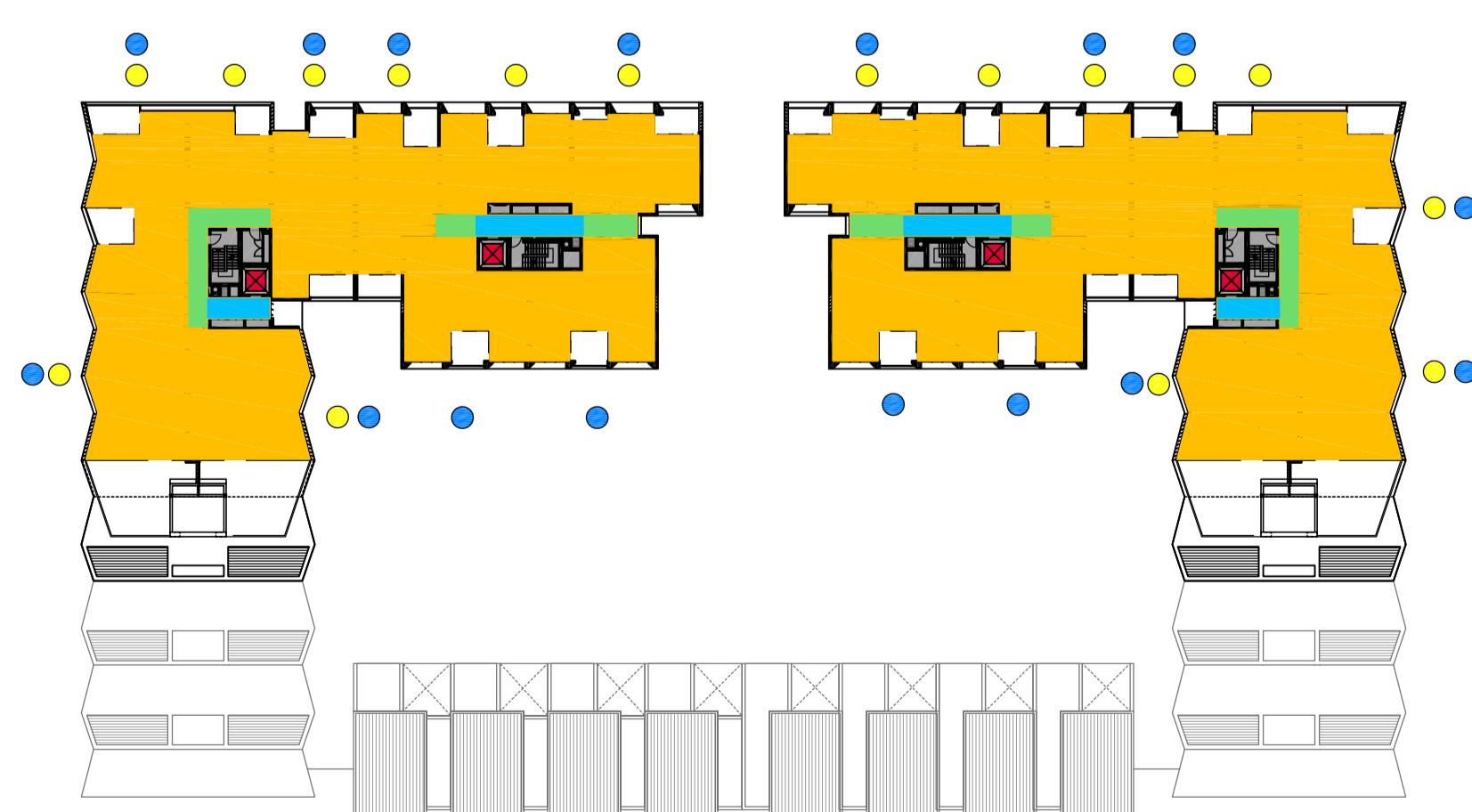
5 Level 04 Plan
FSA 2746sqm 1:600



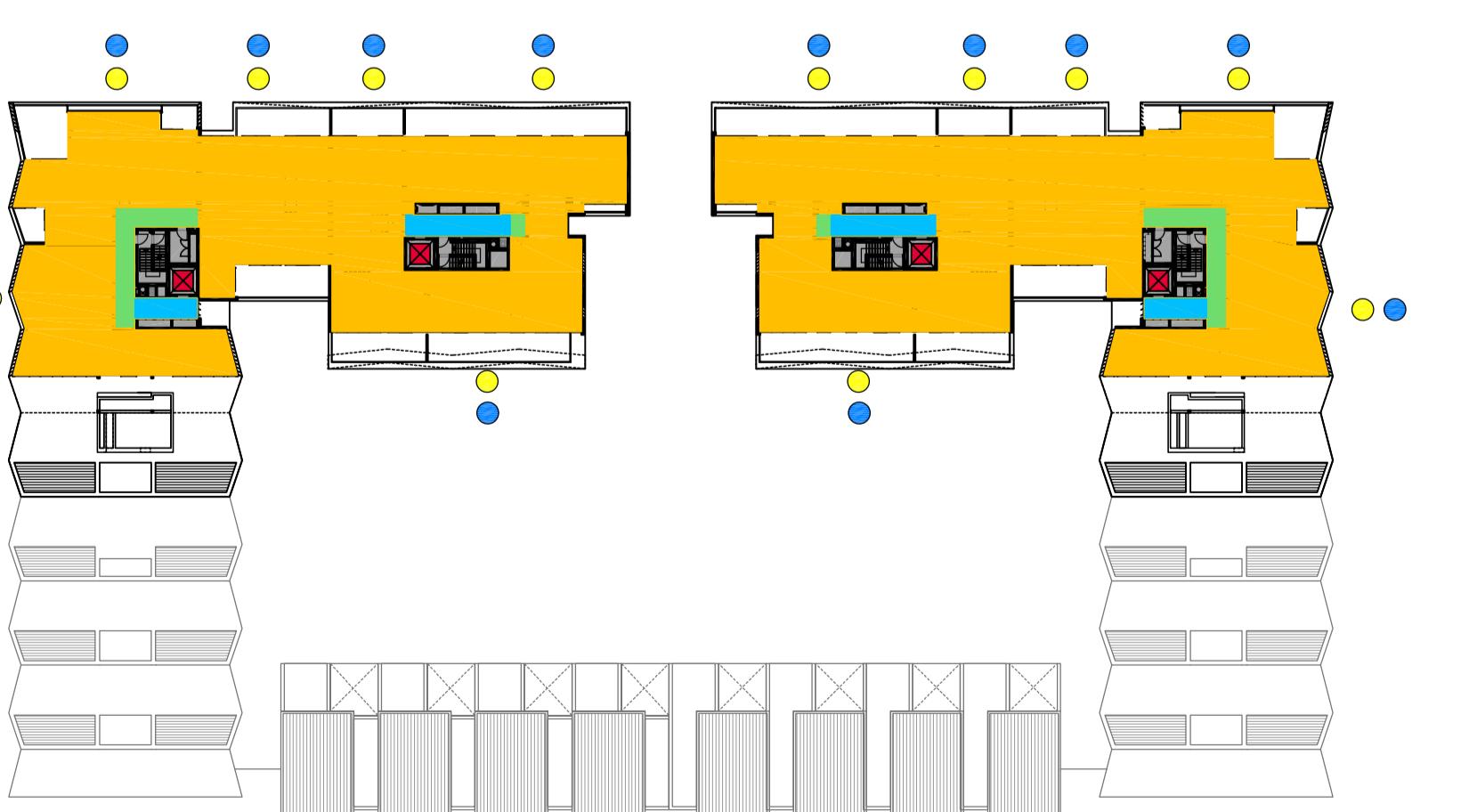
6 Level 05 Plan
FSA 2497sqm 1:600



7 Level 06 Plan
FSA 2264sqm 1:600



8 Level 07 Plan
FSA 2071sqm 1:600



9 Level 08 Plan
FSA 1624sqm 1:600

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FLOOR SPACE AREA

RESIDENTIAL

CORRIDOR

LOBBY

Car parking two levels above ground

Apartments which is located in corner or cross 125 apartments = 60%

Apartments which receive minimum 2 hours of sun to living room / balcony at mid-winter. 144 apartments = 70%

No sun 28 apartments = 14%

C 14.11.18 For Development Application AL HC
B 02.11.18 For Development Application AL HC
A 01.12.17 For Development Application AL HC

Revision Date Description Initial Checked

37 - 39 Hill Road

Wentworth Pt, Block D

Area Calculations



Scale 1:600 @ A1
Drawn AL Checked HC
Project No. s12088a
Status Development Application
Plot Date 13/11/2018 10:57 AM
Plot File S:\12000-12099\12088a_cityfreehold_wentworth\plot870_CAD...
Drawing No. [Revision]

A40.000[C]

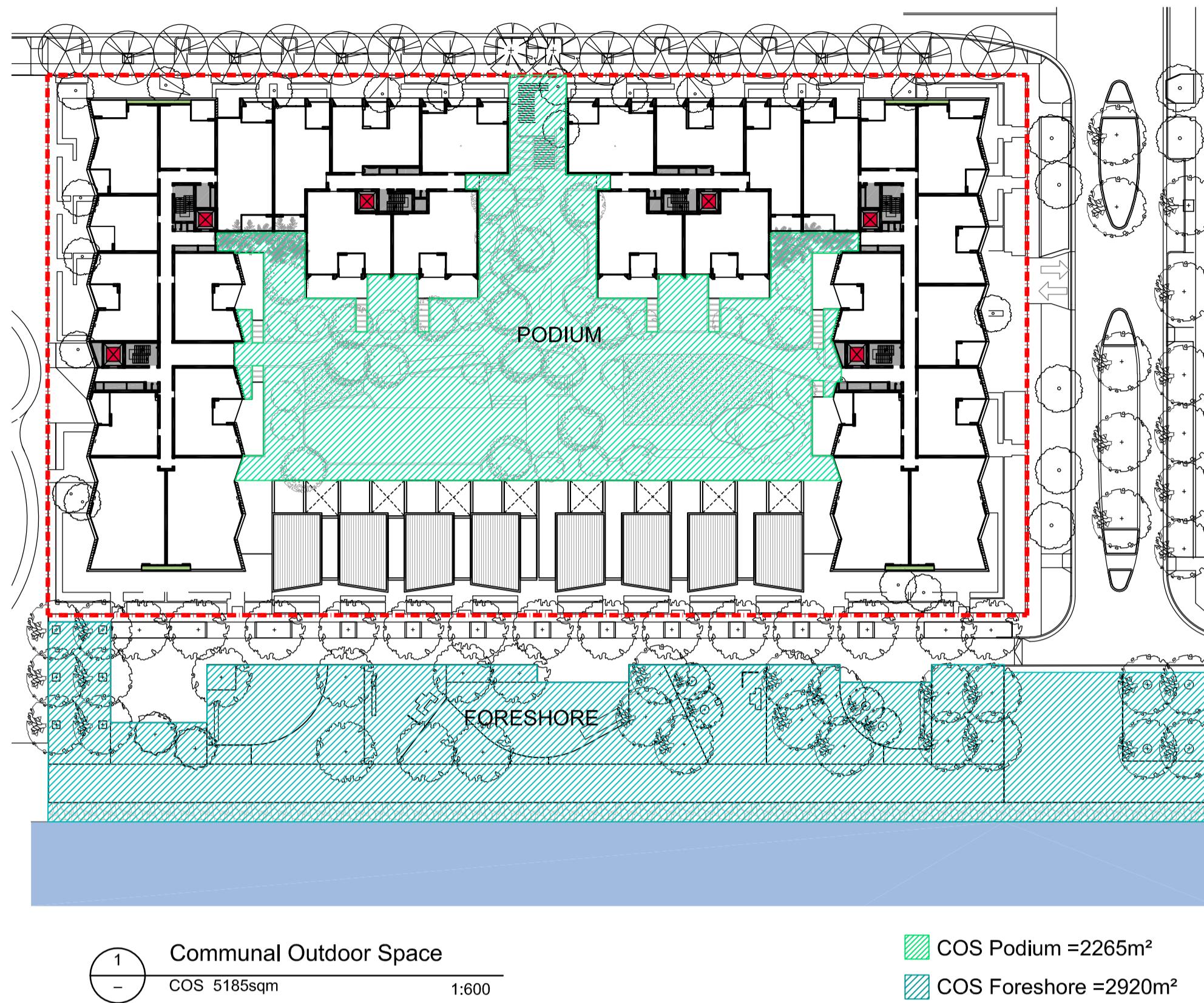
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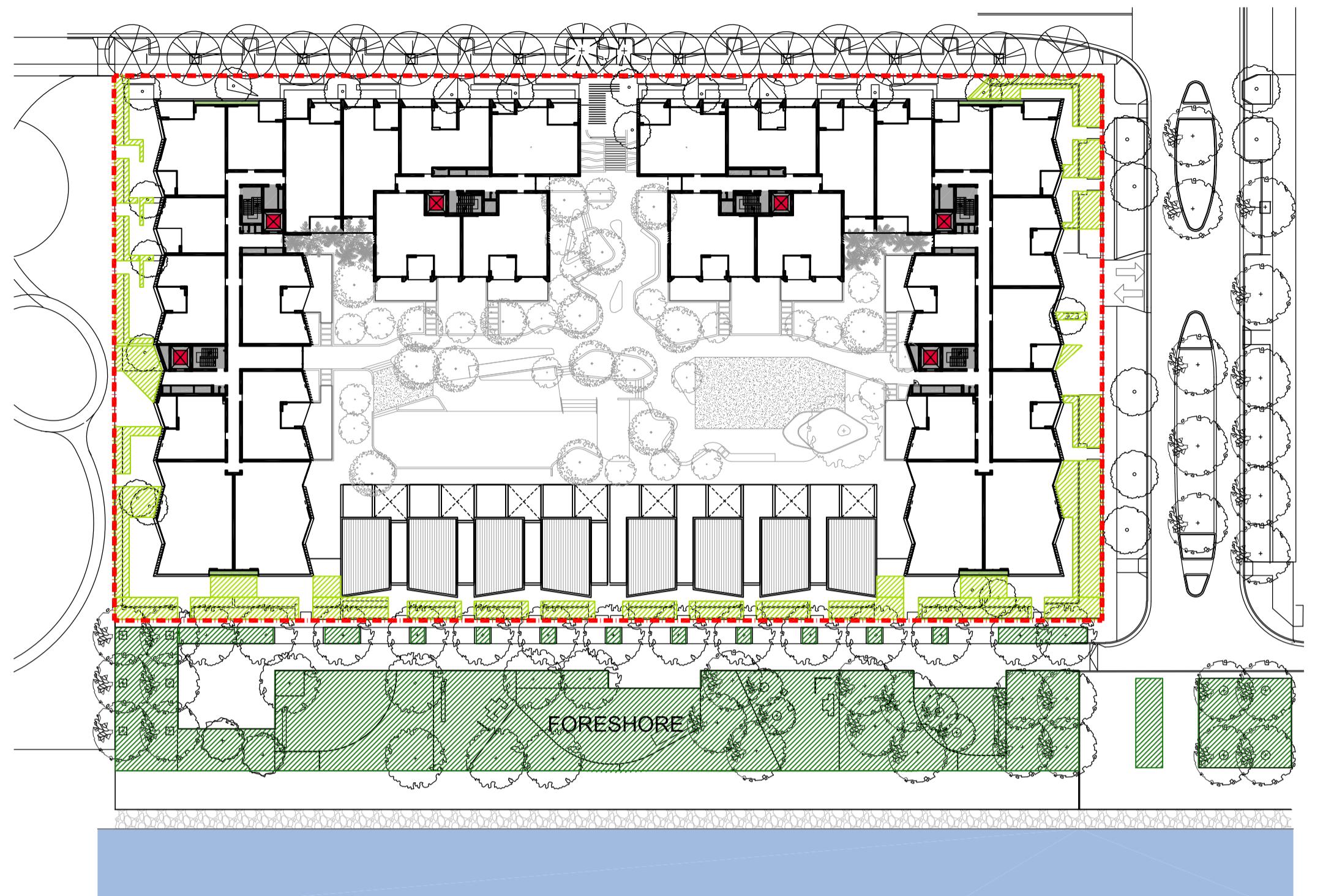
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SITE AREA =9157m²



SITE AREA =9157m²



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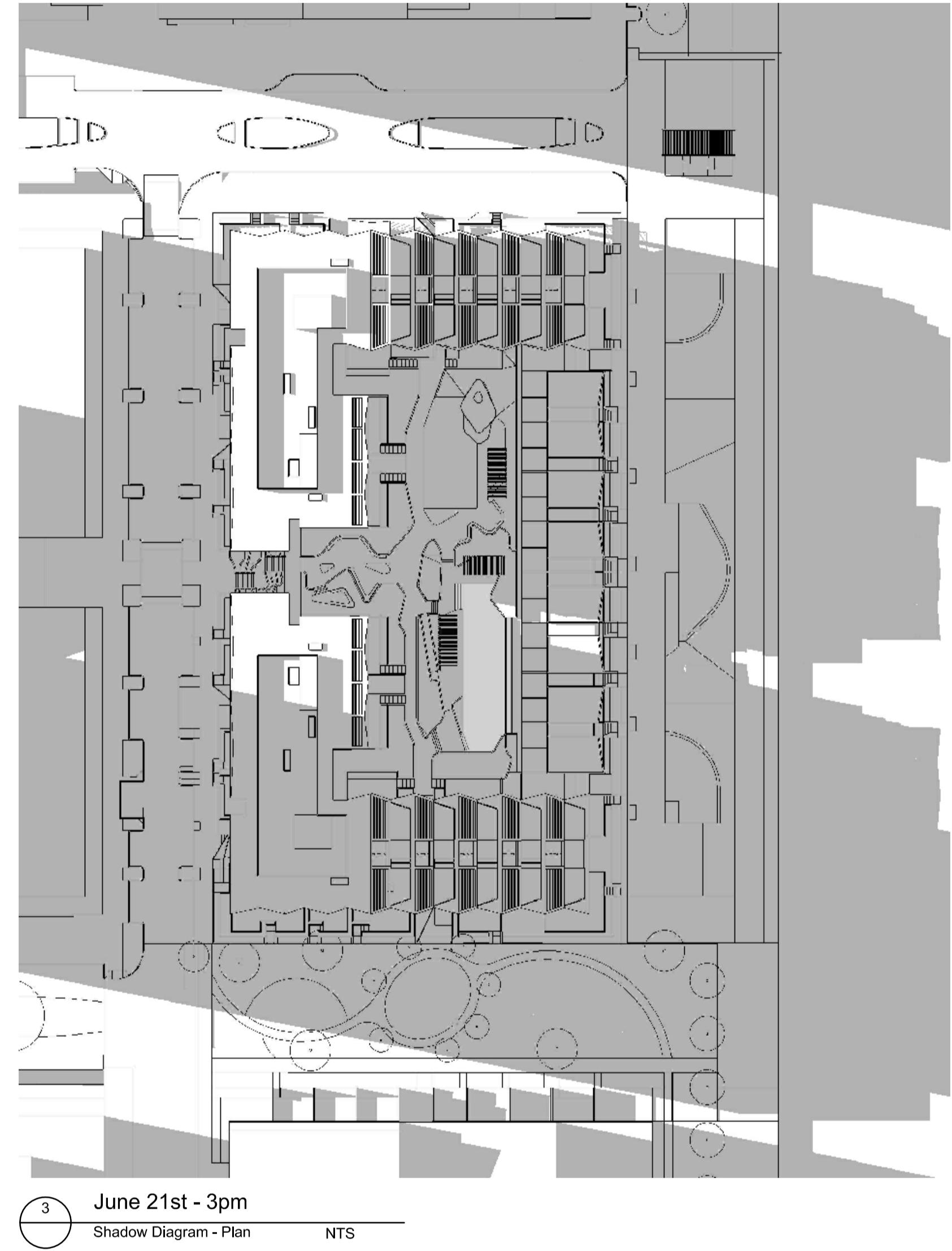
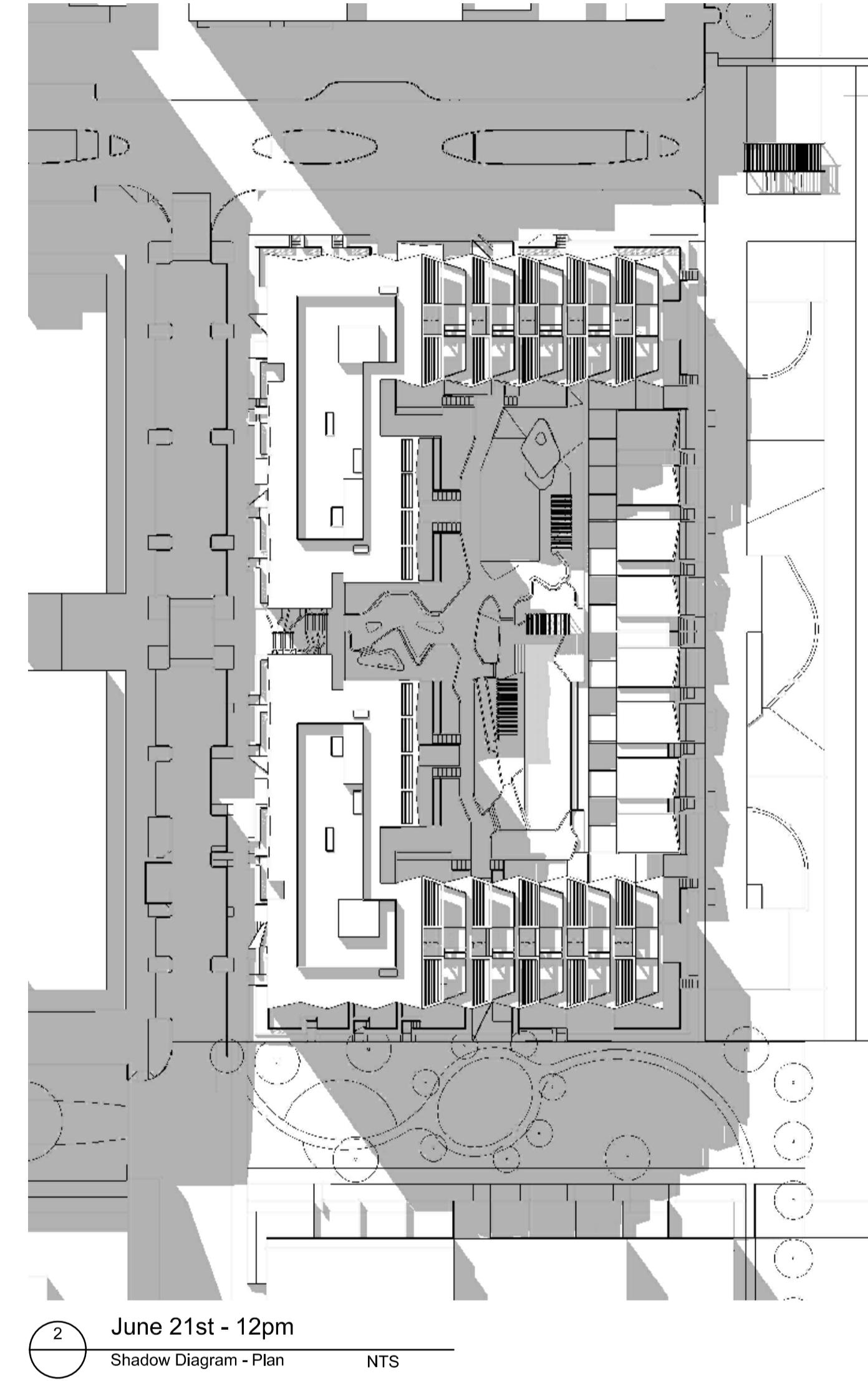
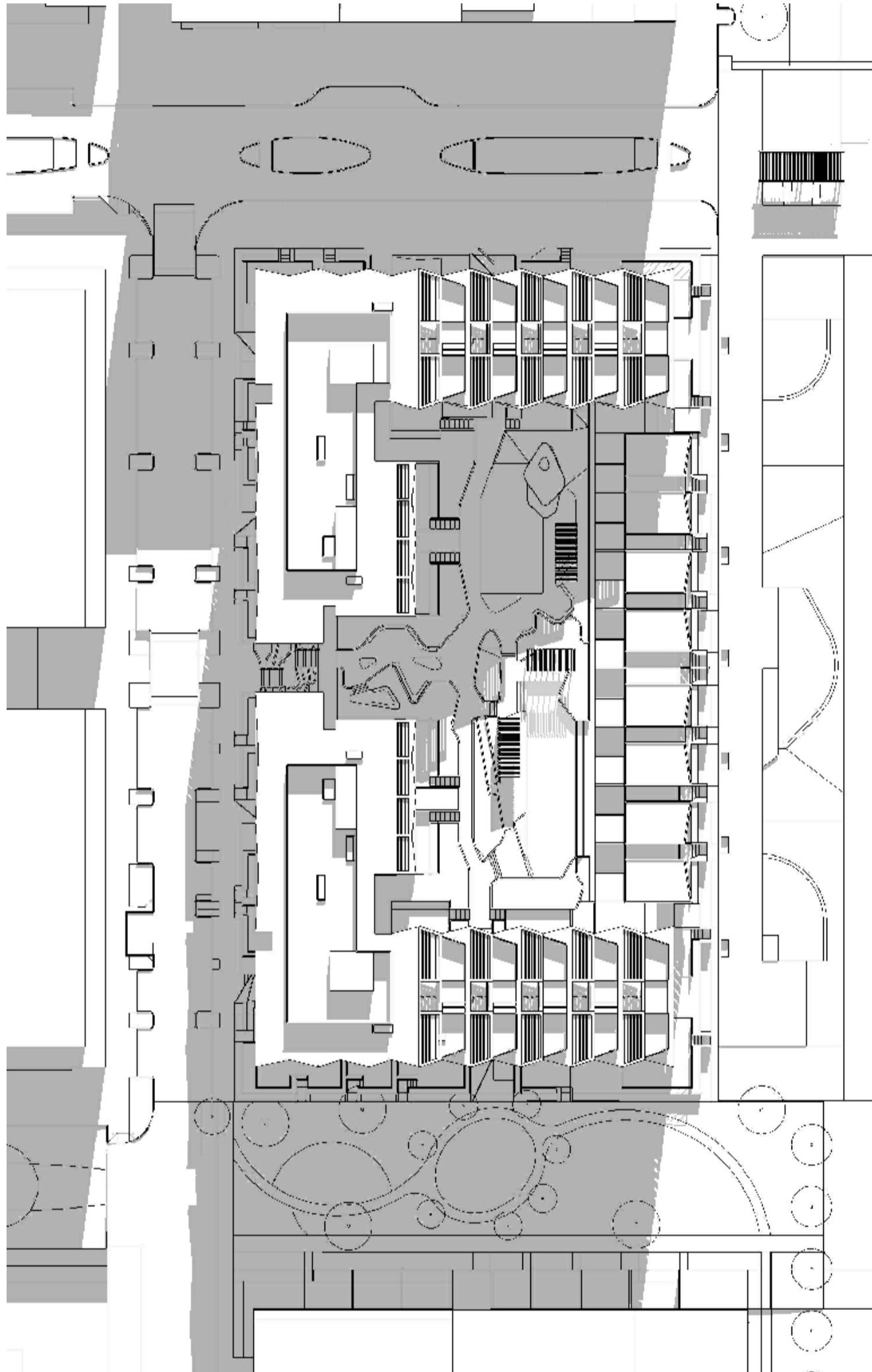
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B	26.10.18	For Development Application	AL	HC
A	01.12.17	For Development Application	AL	HC

Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Shadow Diagrams
Plan

Scale	NTS
Drawn	AL
Project No.	s12088a
Status	Development Application
Plot Date	13/11/2018 10:58 AM
Plot File	S:\12000-12099\12088a_cy\freehold_wentworth\plot870_CAD...\\Plots\DAVA40.002[C].dwg
Drawing No.	[Revision]

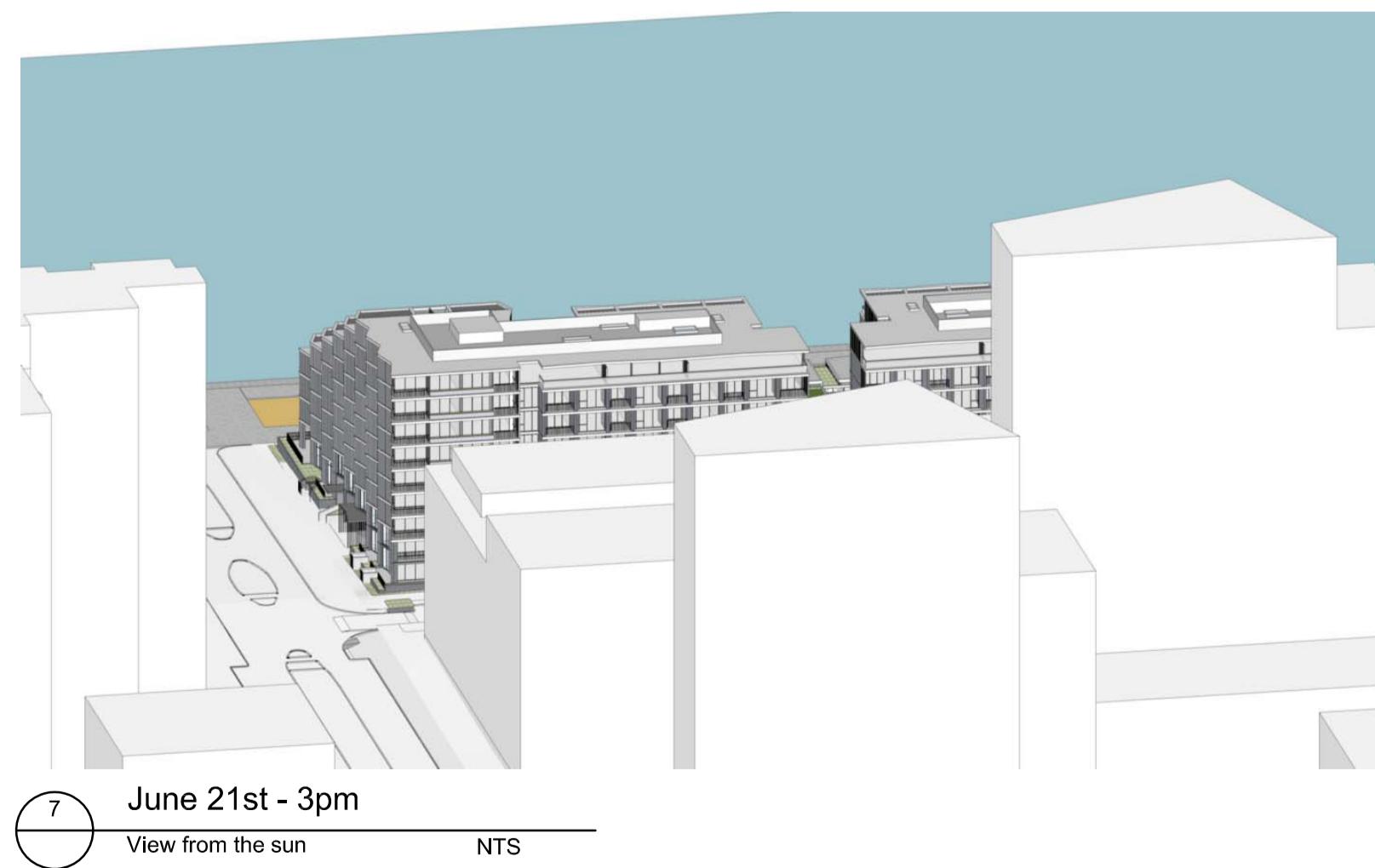
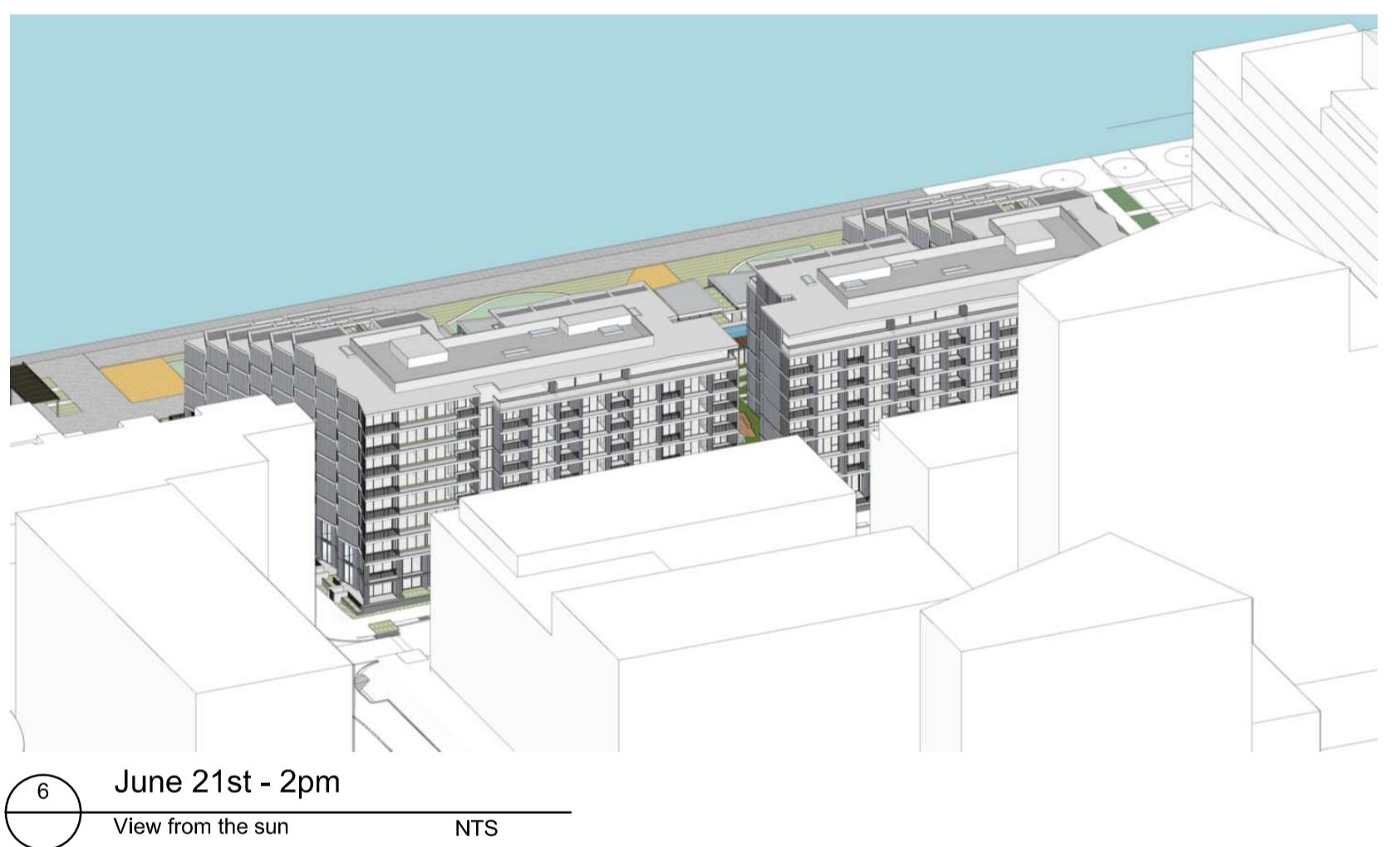
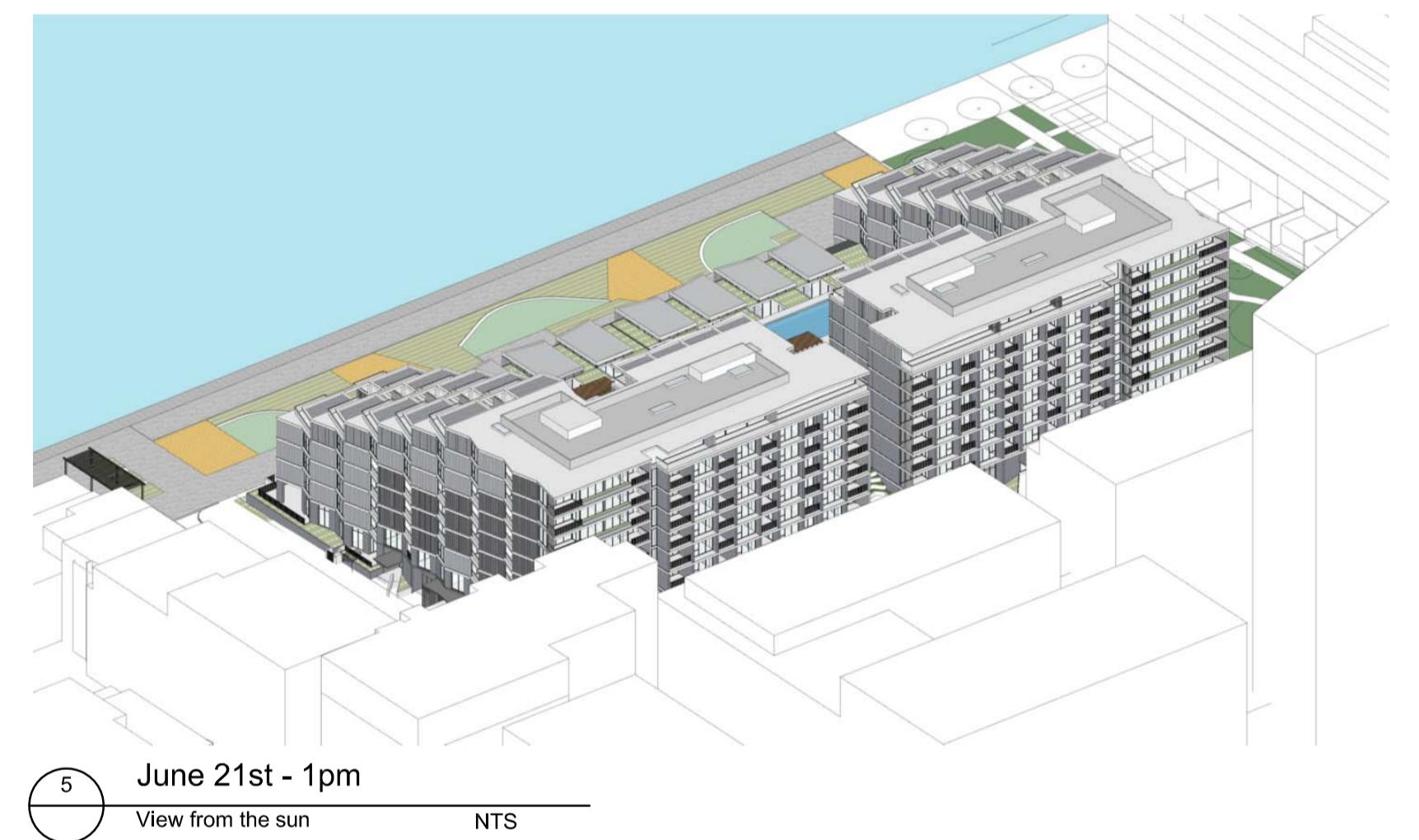
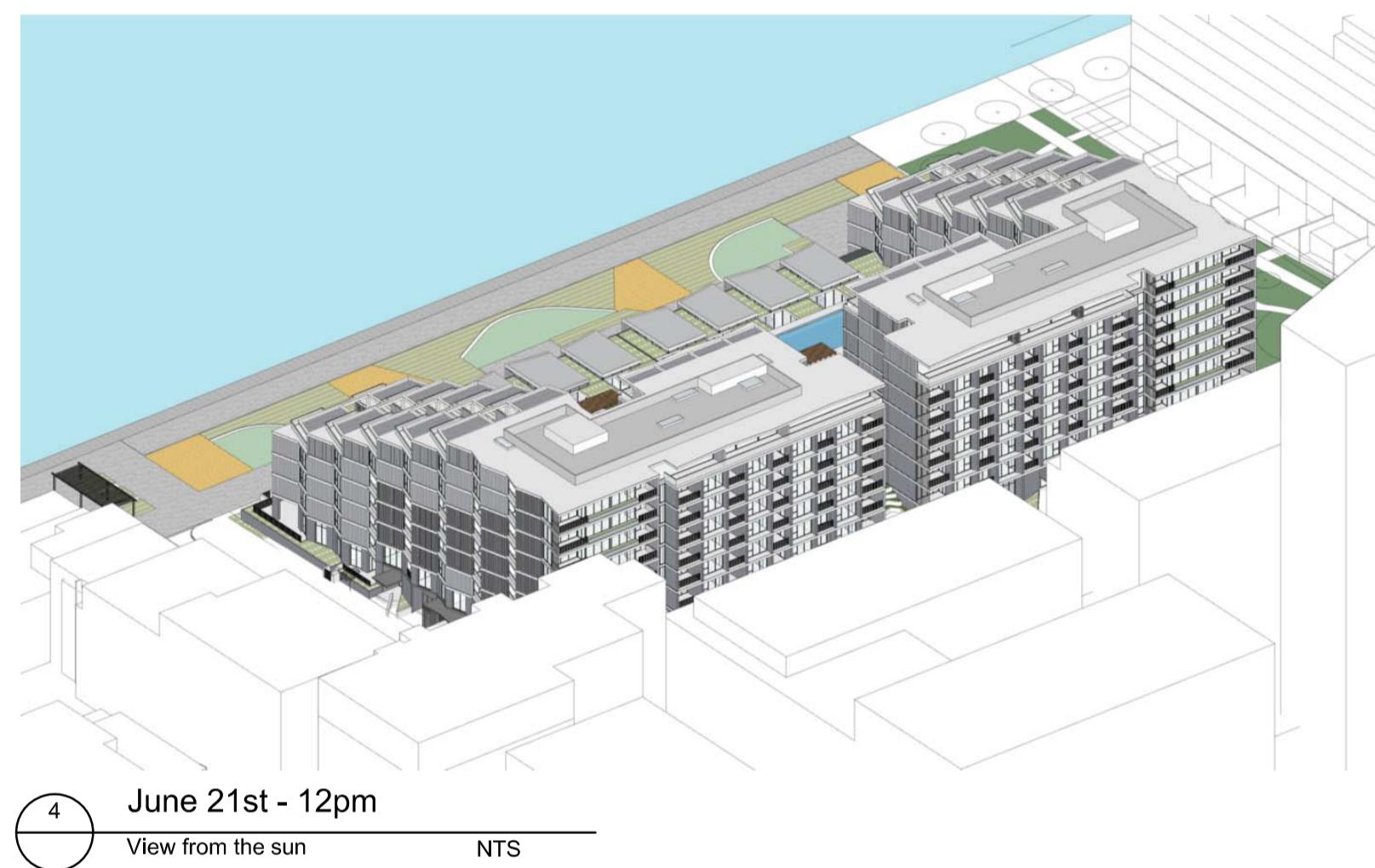
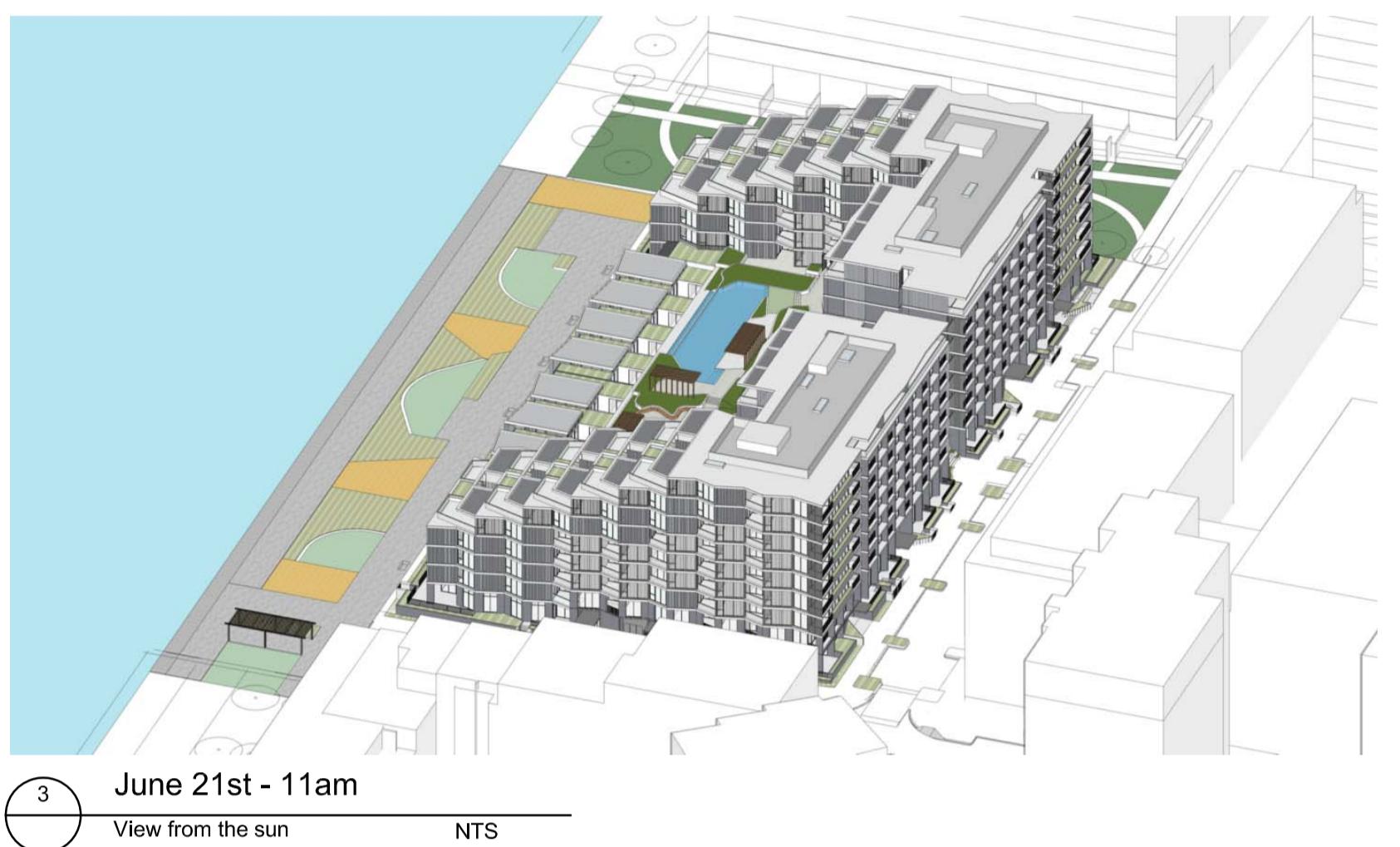
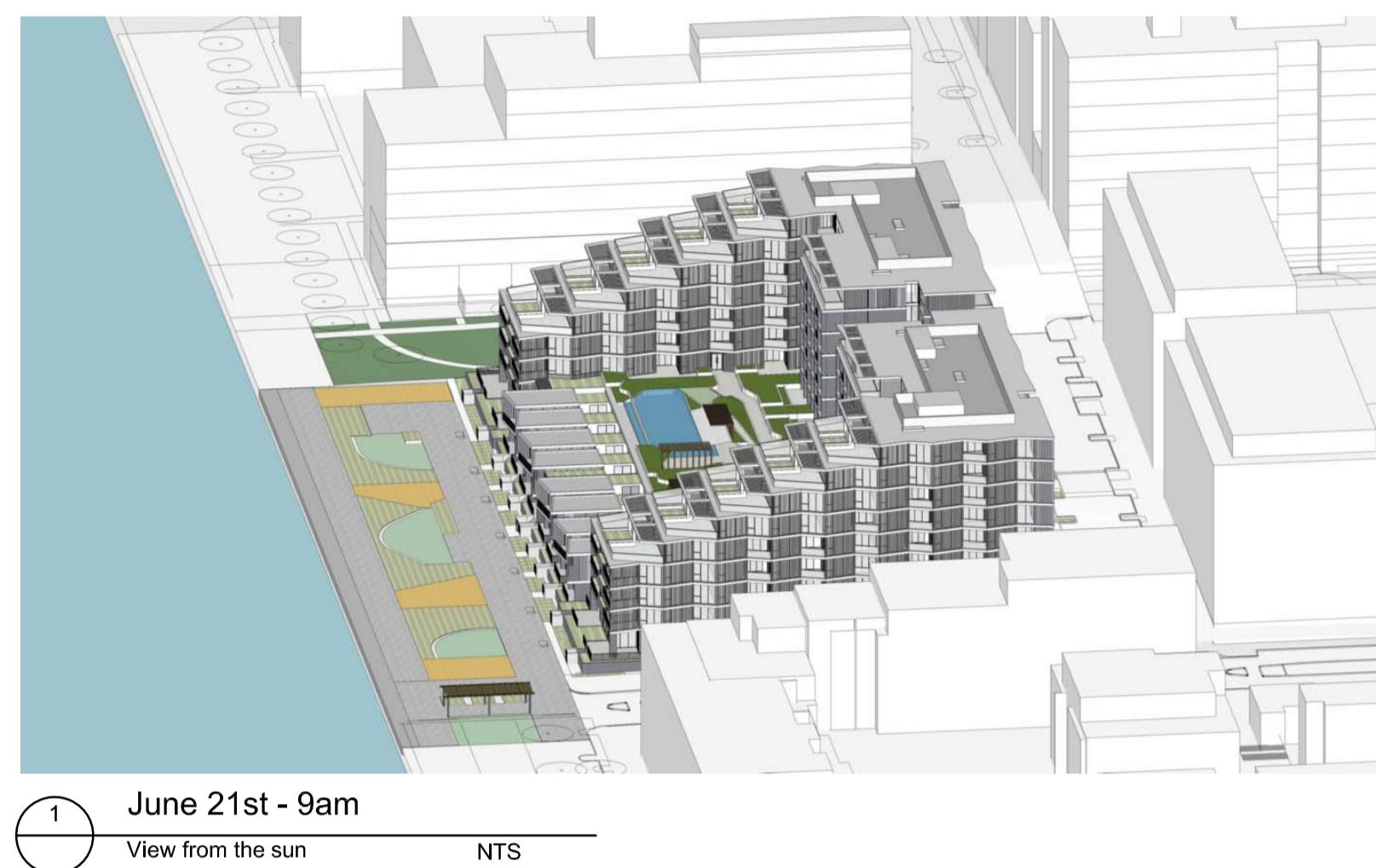
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37 - 39 Hill Road
Wentworth Pt, Block D
View from the sun

Scale NTS
Drawn AL Checked HC
Project No. s12088a
Status Development Application
Plot Date 13/11/2018 10:58 AM
Plot File S:\12000-12099\912088a_cy\freehold_wentworth\plot870_CAD...
Drawing No. [Revision]

A40.003[C]

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1 Maine Parade

NTS

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B	26.10.18	For Development Application	AL	HC
A	01.12.17	For Development Application	AL	HC

Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Photomontages
Sheet 1

Scale	NTS		
Drawn	NP	Checked	HC
Project No.	s12088a		
Status	Development Application		
Plot Date	13/11/2018 10:58 AM		
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Drawing No.	[Revision]		

A4.004[C]

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1 Courtyard

NTS

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C	14.11.18	For Development Application	AL	HC
B	26.10.18	For Development Application	AL	HC
A	01.12.17	For Development Application	AL	HC

Revision Date Description Initial Checked

**37 - 39 Hill Road
Wentworth Pt, Block D**

Photomontages
Sheet 2

Scale	NTS		
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Project No.	s12088a		
Status	Development Application		
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Drawing No.	[Revision]		

A40.005[C]

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1 Waterfront
NTS

Waterfront design indicative. Refer to landscape report for up to date information.

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B	26.10.18	For Development Application	AL	HC
A	01.12.17	For Development Application	AL	HC

Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Photomontages
Sheet 3

Scale	NTS		
Drawn	NP	Checked	HC
Project No.	s12088a		
Status	Development Application		
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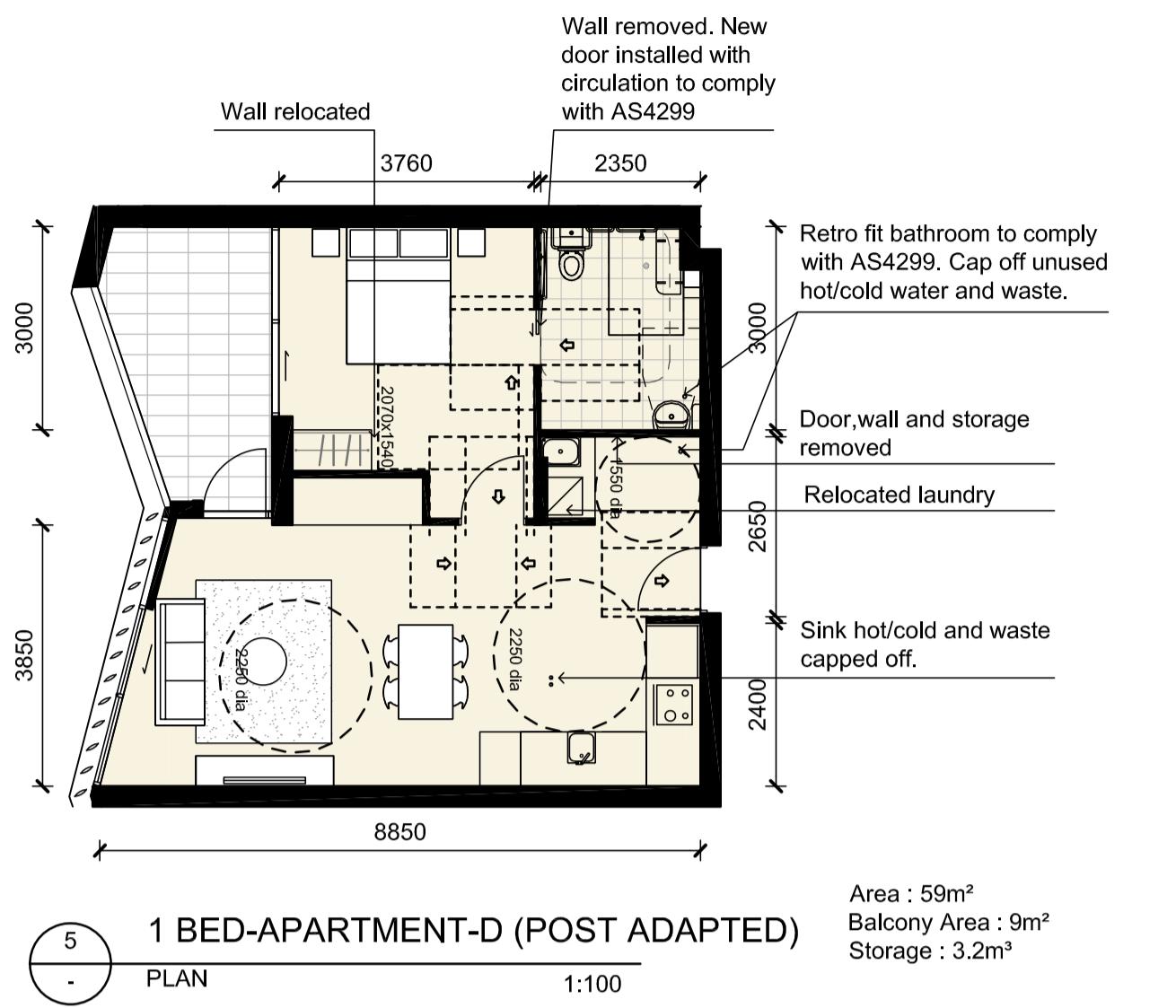
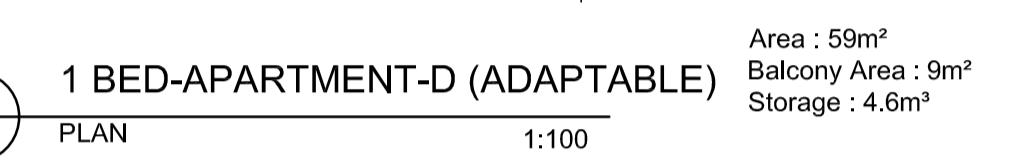
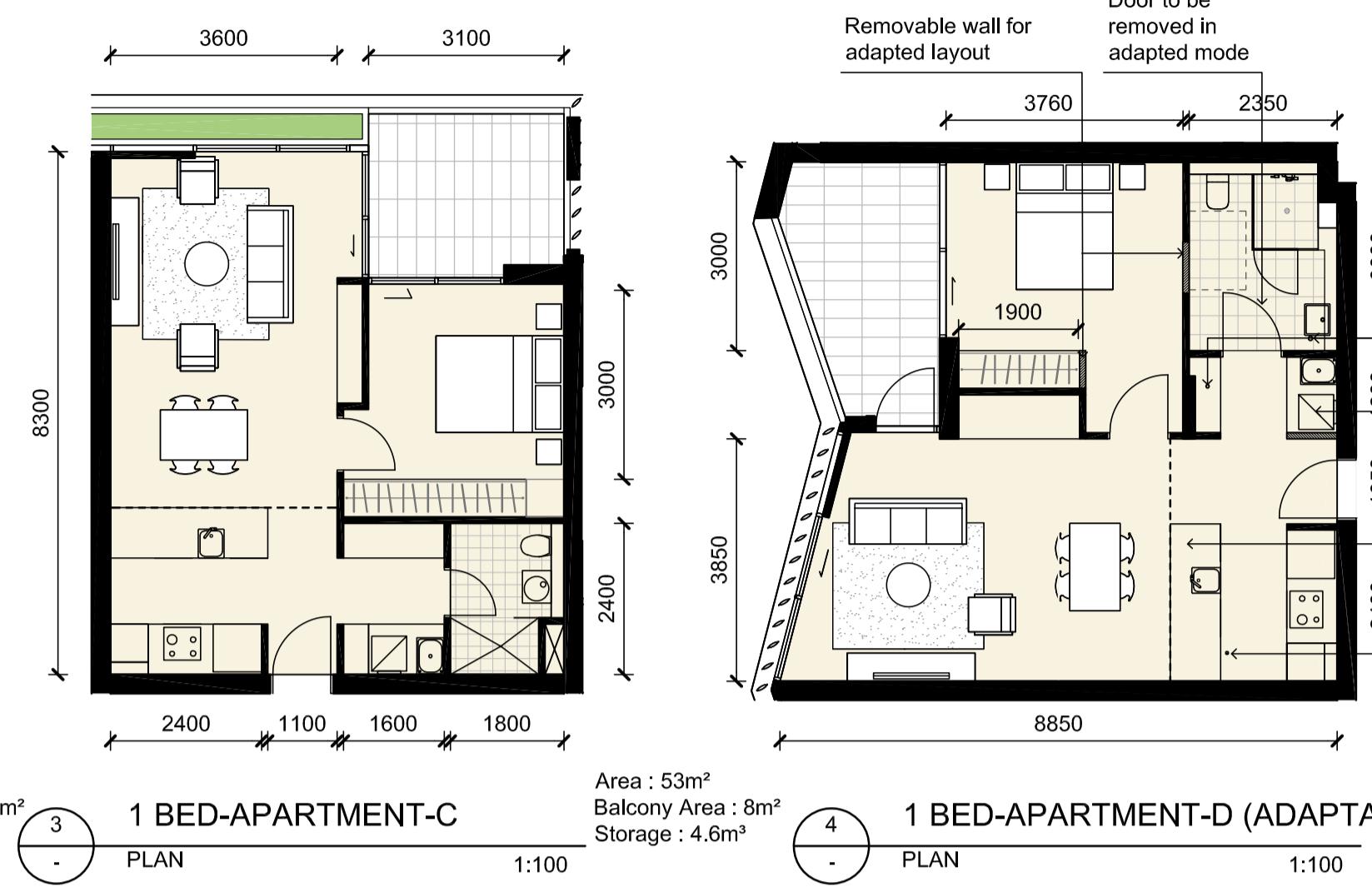
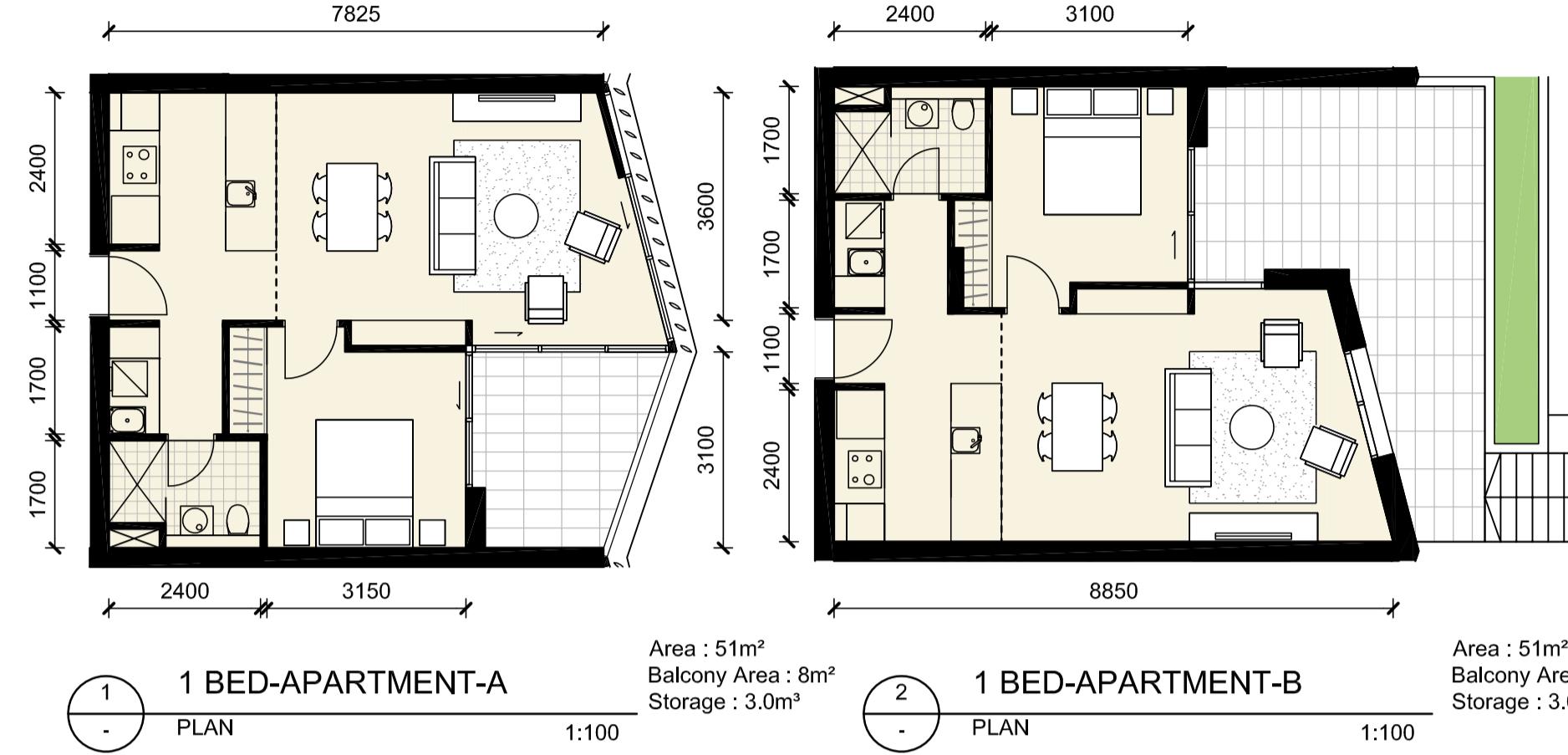
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C 14.11.18 For Development Application AL HC

B 26.10.18 For Development Application AL HC

A 01.12.17 For Development Application AL HC

Revision Date Description Initial Checked

C 14.11.18 For Development Application AL HC

B 26.10.18 For Development Application AL HC

A 01.12.17 For Development Application AL HC

Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Apartment Types - 1 Bed

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Drawn	AL Checked HC
Project No.	s12088a
Status	Development Application
Plot Date	13/11/2018 10:58 AM
Plot File	S:\1200-1209\912088a_cy\freehold_wentworth\plot870_CAD...\\Plots\DAVA50.010[C].dwg
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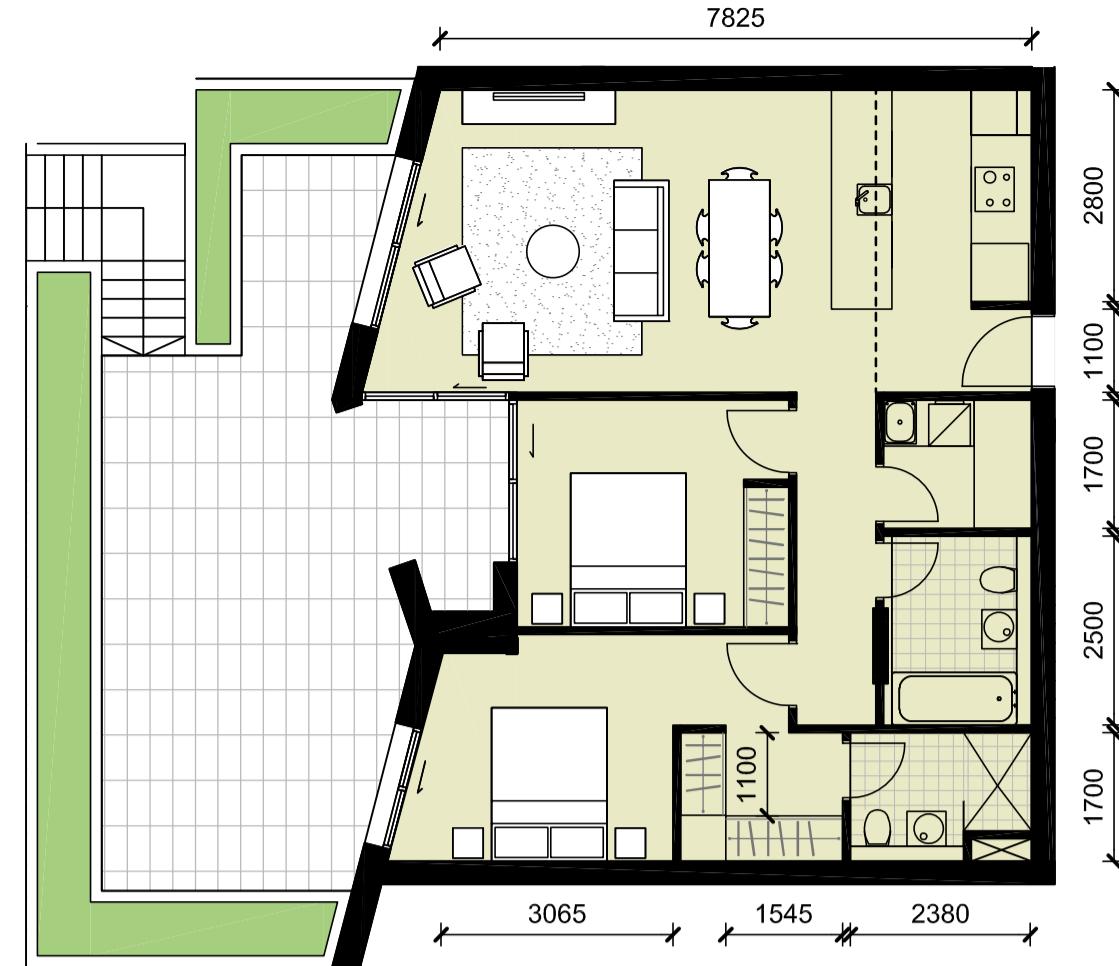
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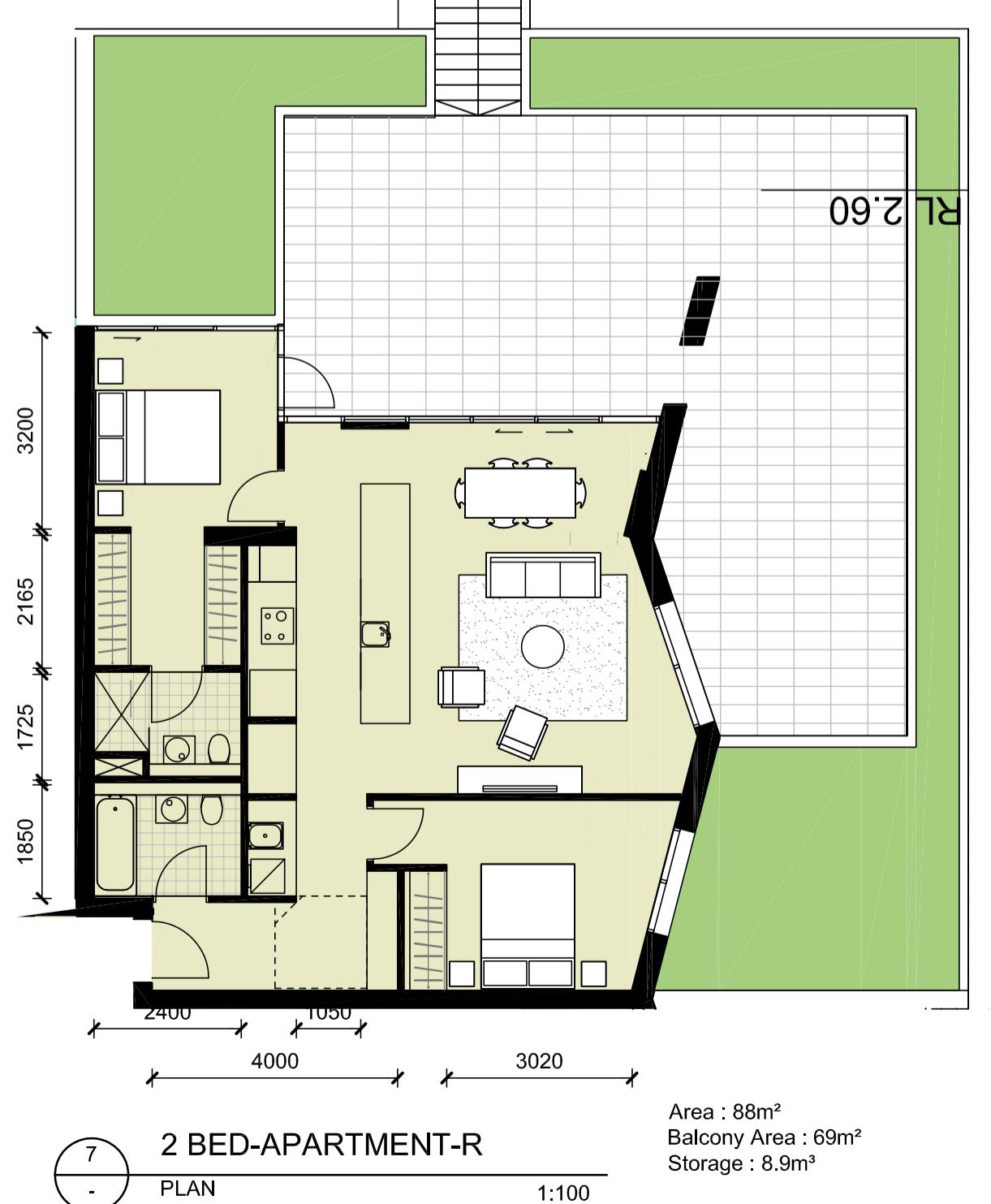
1 2 BED-APARTMENT-K
PLAN 1:100

2 2 BED-APARTMENT-L
PLAN 1:100

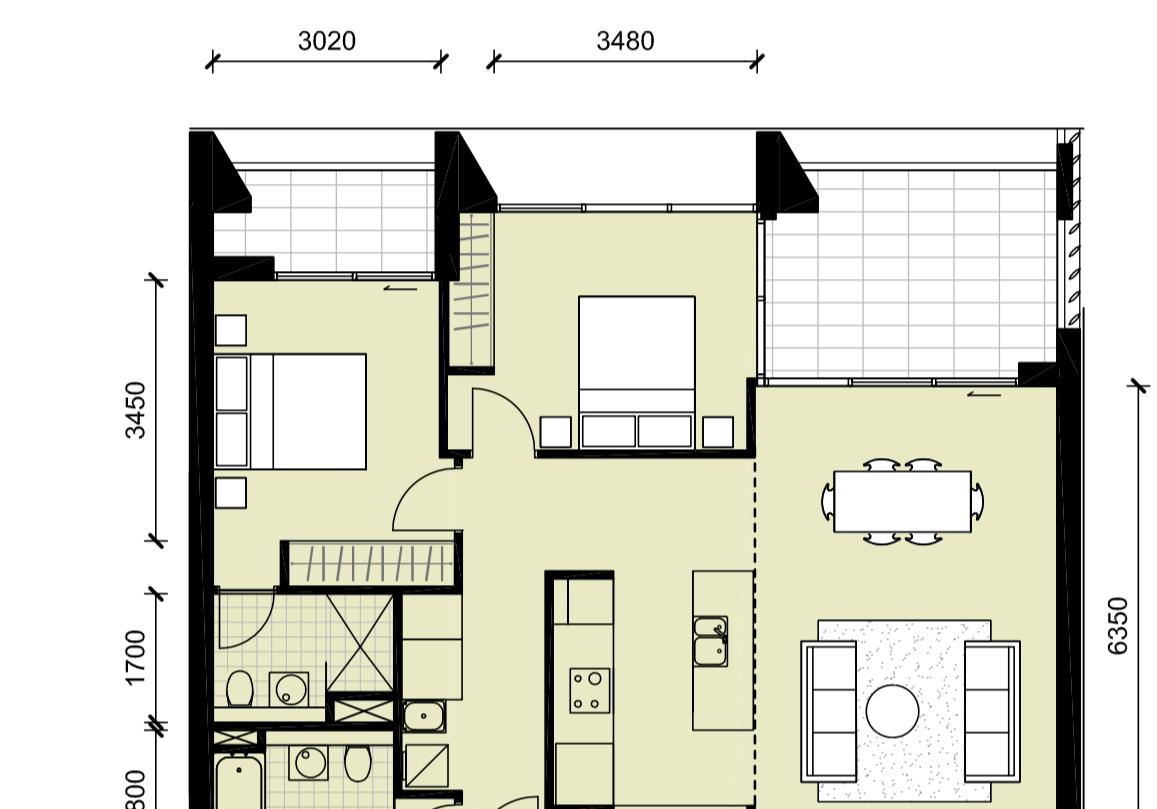
3 2 BED-APARTMENT-N
PLAN 1:100



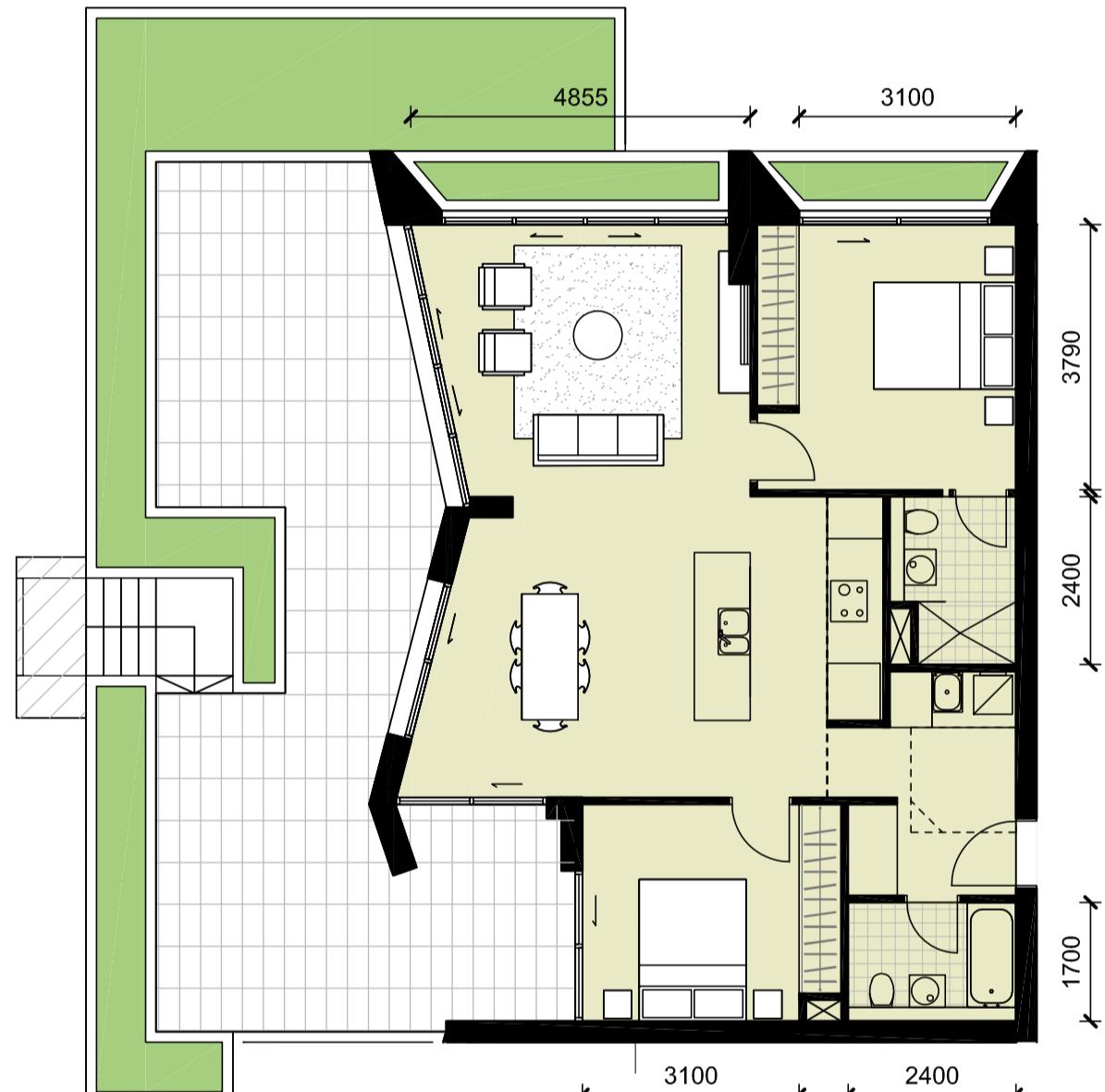
4 2 BED-APARTMENT-O
PLAN 1:100



7 2 BED-APARTMENT-R
PLAN 1:100



5 2 BED-APARTMENT-P
PLAN 1:100



6 2 BED-APARTMENT-Q
PLAN 1:100

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B 26.10.18 For Development Application AL HC

A 01.12.17 For Development Application AL HC

Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Apartment Types - 2 Bed
Sheet 2

Scale 1:100 @A1
Drawn AL Checked HC
Project No. s12088a
Status Development Application
Plot Date 13/11/2018 10:59 AM
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Drawing No. [Revision]

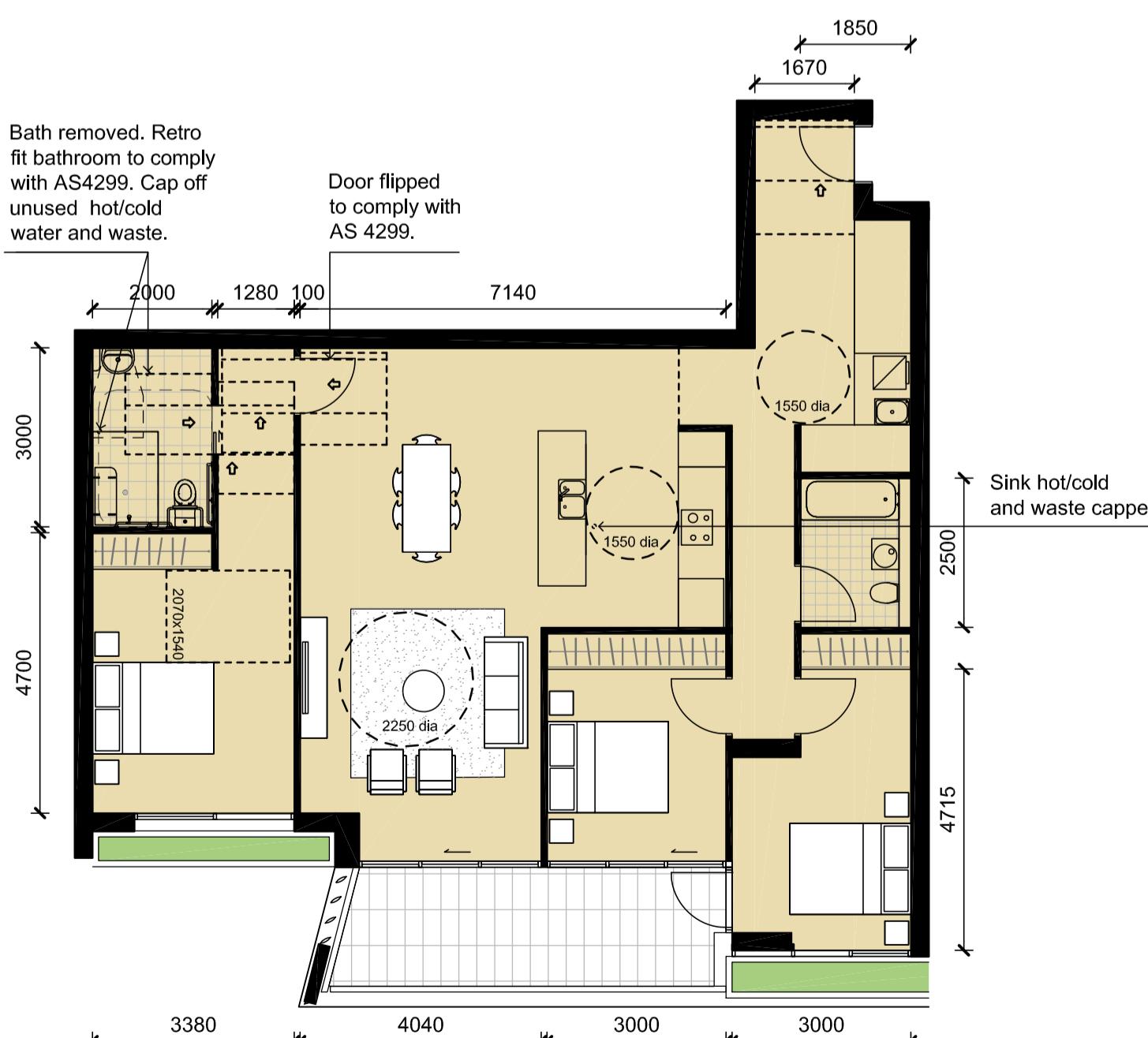
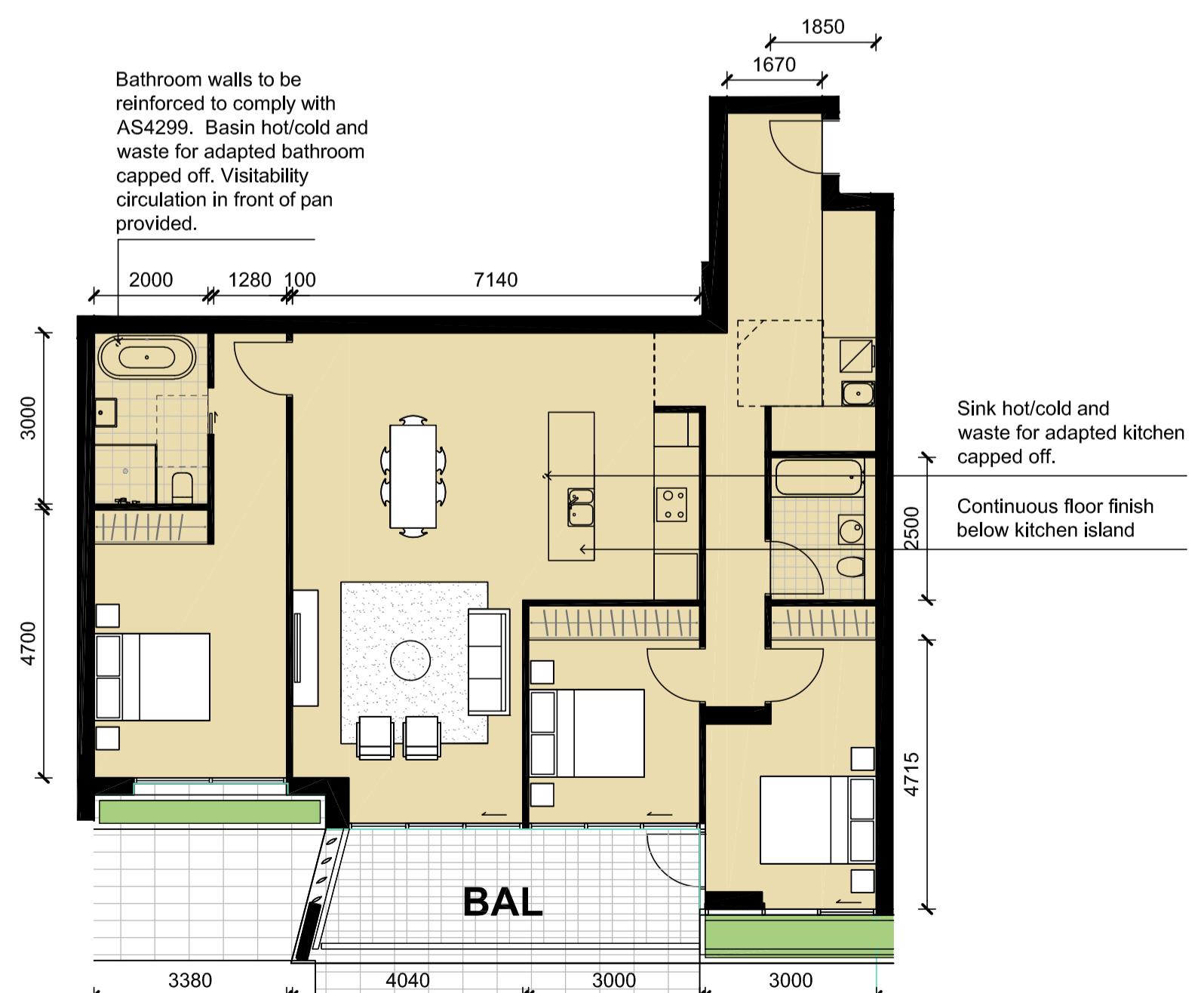
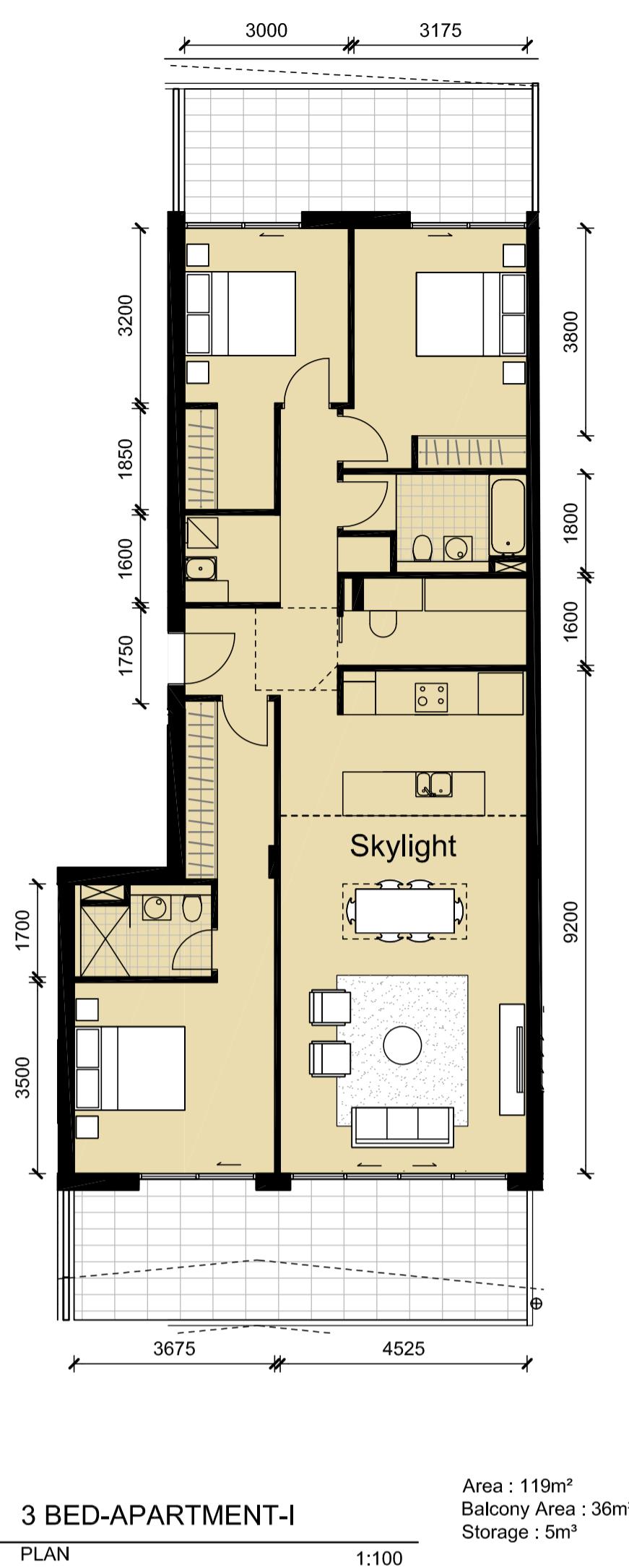
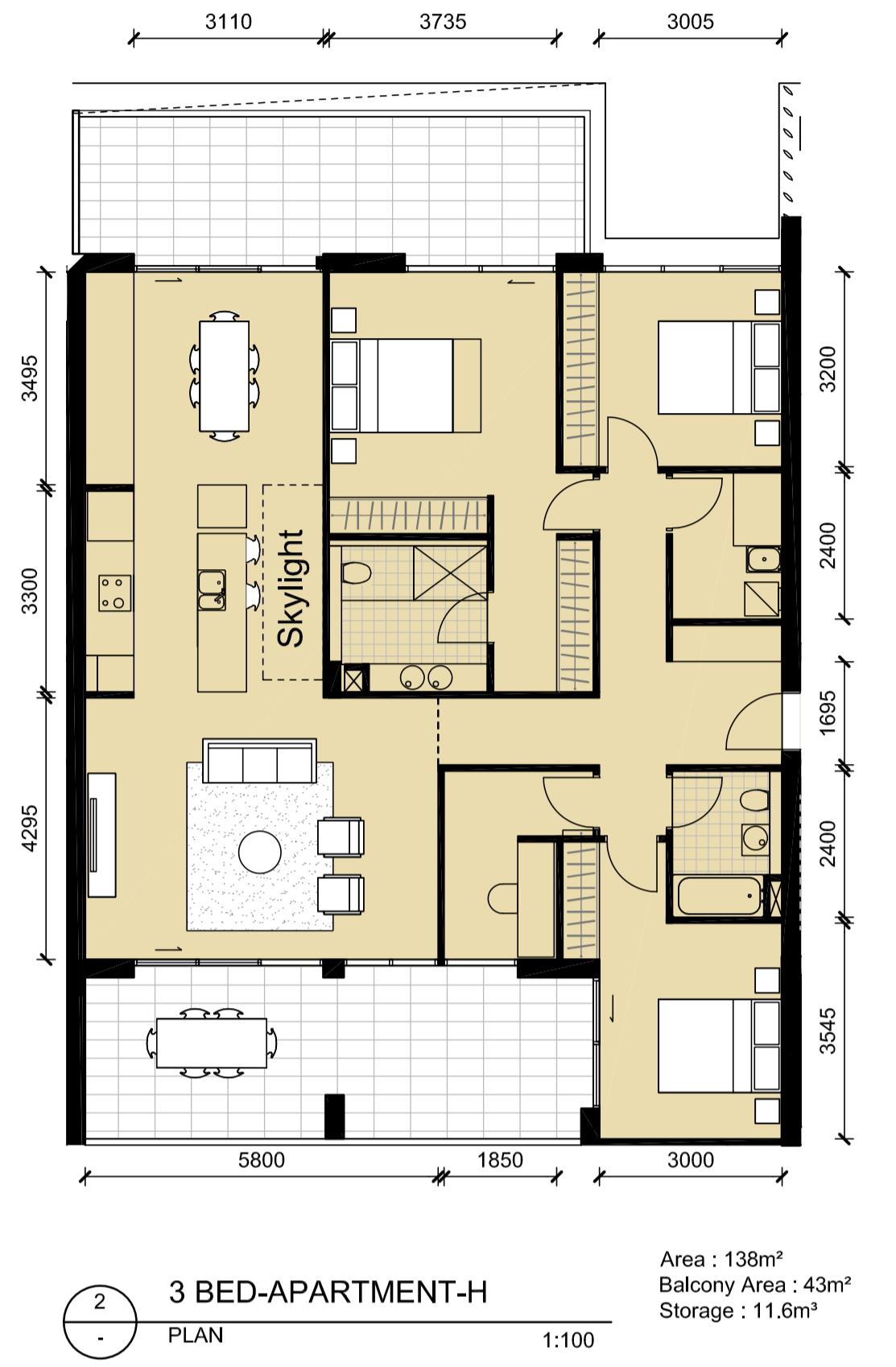
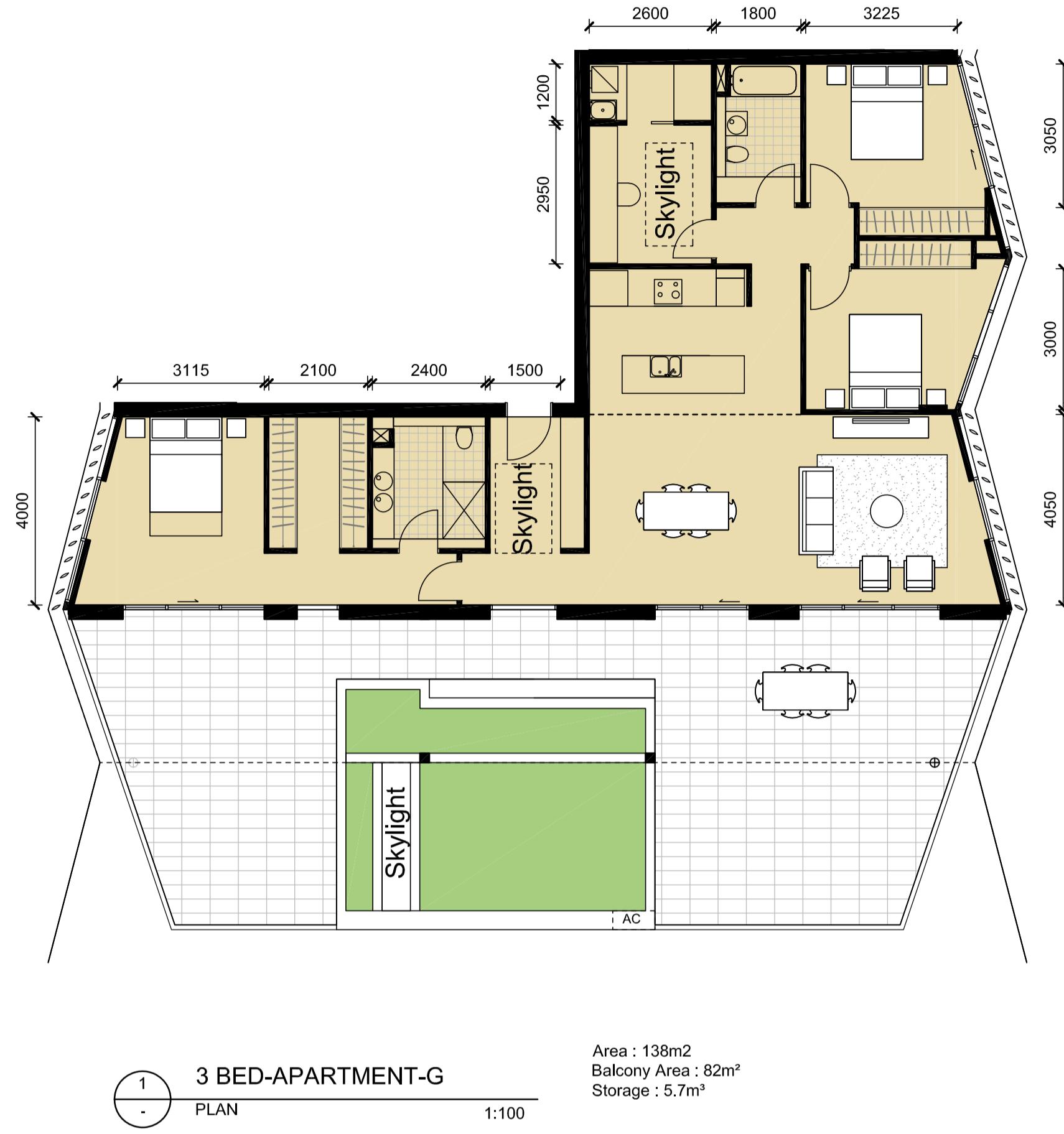
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C 14.11.18 For Development Application AL HC
B 26.10.18 For Development Application AL HC
A 01.12.17 For Development Application AL HC
Revision Date Description Initial Checked

37 - 39 Hill Road Wentworth Pt, Block D

Apartment Types - 3 Bed
Sheet 2

Scale 1:100 @A1
Drawn AL Checked HC
Project No. s12088a
Status Development Application
Plot Date 13/11/2018 11:00 AM
Plot File S:\12000-2099\912088a_cy\freehold_wentworth\plot870_CAD...
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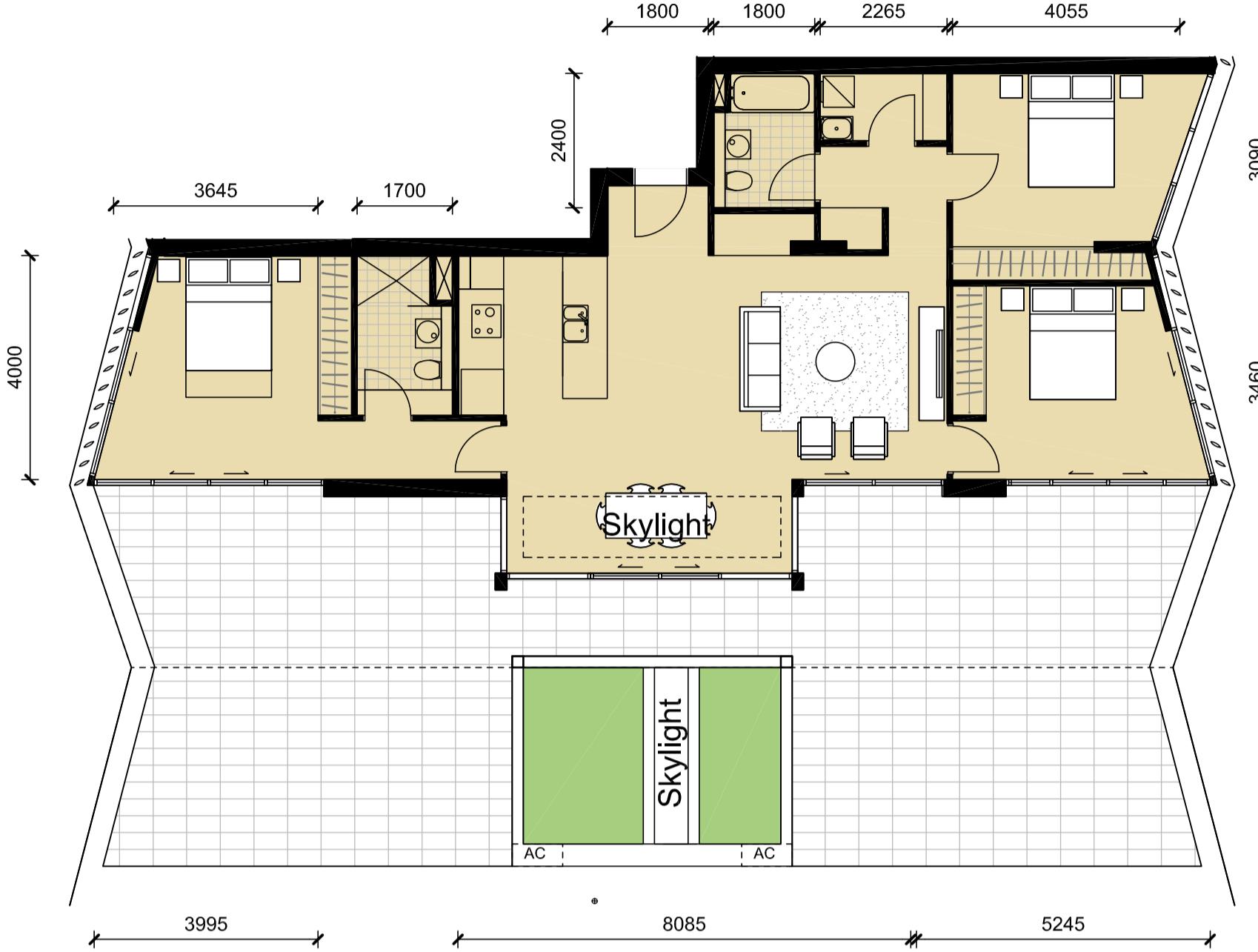
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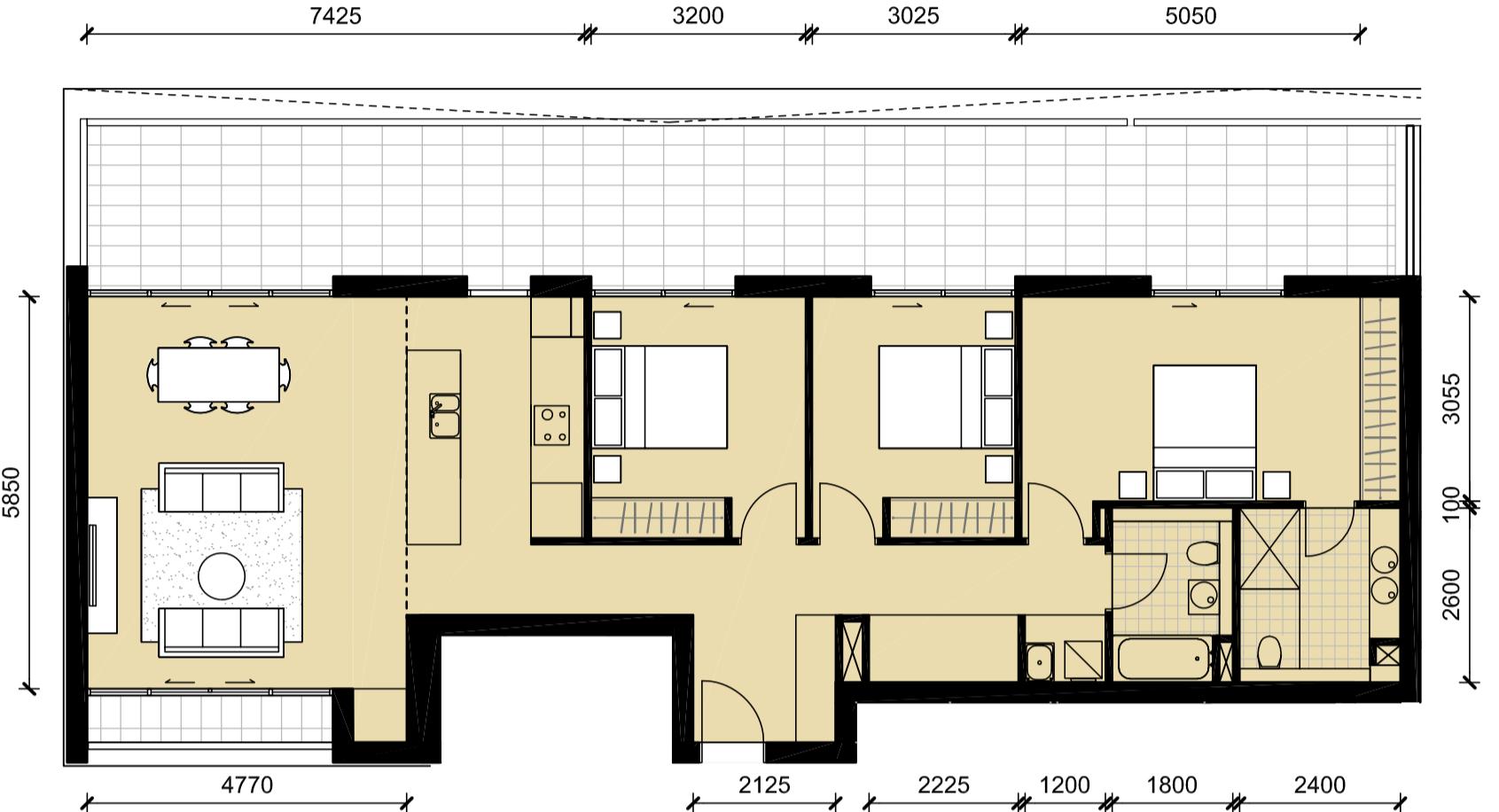
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1 - PLAN 3 BED-APARTMENT-N
1:100



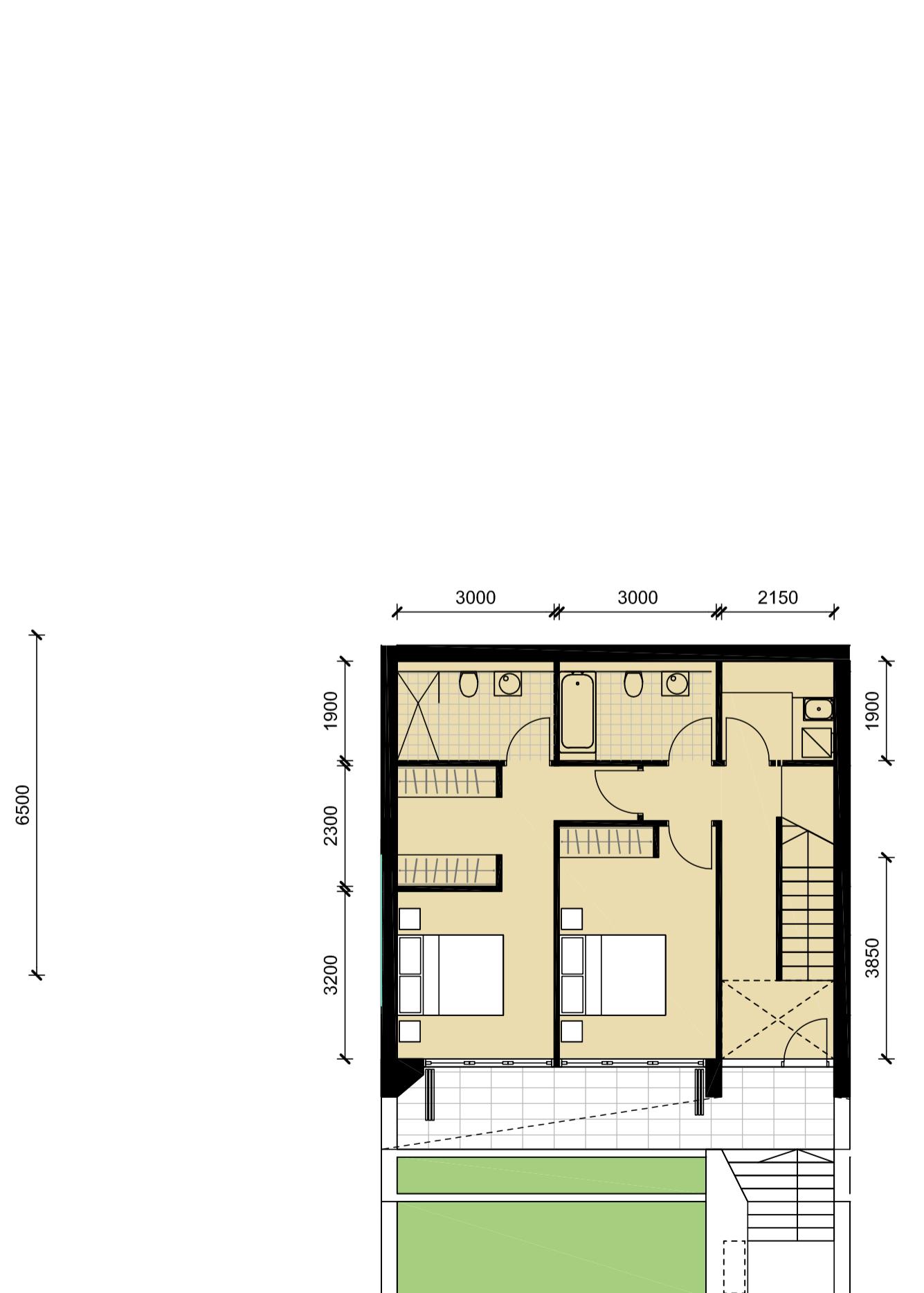
2 - PLAN 3 BED-APARTMENT-O
1:100



3 - PLAN 3 BED-APARTMENT-P
1:100



4 - PLAN 3 BED-TOWNHOUSE-A
1:100



5 - PLAN 3 BED-TOWNHOUSE-B
1:100

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C 14.11.18 For Development Application AL HC
B 26.10.18 For Development Application AL HC
A 01.12.17 For Development Application AL HC
Revision Date Description Initial Checked

37 - 39 Hill Road
Wentworth Pt, Block D
Apartment Types - 3 Bed
Sheet 3

Scale 1:100 @A1
Drawn AL Checked HC
Project No. s12088a
Status Development Application
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A50.032[C]
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APPENDIX B

SEPP65 & ADG

COMPLIANCE

CHECKLIST



DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
PART3 SITING THE DEVELOPMENT			
3A SITE ANALYSIS			
3A-1 p47	Objective: Site Analysis illustrates that design decisions have been based on opportunities & constraints of the site conditions & their relationship to the surrounding context.	✓	
	Design Guidance	Considered	
	Each element in the Site Analysis Checklist is addressed.	YES	
3B ORIENTATION			
3B-1 p49	Objective: Building types & layouts respond to the streetscape & site while optimising solar access within the development	✓	
	Design Guidance	Considered	
	Buildings along the street frontage define the street by facing it & incorporating direct access from the street	YES	
	Where the street frontage is to the east or west, rear buildings are orientated to the north	YES	
	Where the street frontage is to the north or south, over-shadowing to the south is minimised & buildings behind the street frontage are orientated to the east & west	YES	
3B-2 p49	Objective: Overshadowing of neighbouring properties is minimised during mid winter.	✓	
	Design Guidance	Considered	
	Living areas, private open space & communal open space receive solar access in accordance with section 3D Communal & Public Open Space and section 4A Solar & Daylight Access	YES	
	Solar access to living rooms, balconies & private open spaces of neighbours are considered	YES	
	Where an adjoining property does not currently receive the required hours of solar access, the proposed building ensures solar access to neighbouring properties is not reduced by more than 20%	NA	
	If the proposal will reduce the solar access of neighbours, building separation is increased beyond minimums contained in 3F Visual Privacy	NA	
	Overshadowing is minimised to the south or downhill by increased upper level setbacks	The stepped form of the building decreases the over shadowing to Lot 18 Block B and the foreshore	YES
	Buildings are orientated at 90 deg to the boundary with neighbouring properties to minimise overshadowing & privacy impacts, particularly where minimum setbacks are used & where buildings are higher than the adjoining development	YES	
	A minimum of 4 hours of solar access is retained to solar collectors on neighbouring buildings	NA	
3C PUBLIC DOMAIN INTERFACE			
3C-1 p51	Objective: Transition between private & public domain is achieved without compromising safety & security.	✓	
	Design Guidance	Considered	
	Terraces, balconies and courtyard apartments have direct street entry, where appropriate	YES	
	Changes in level between private terraces, front gardens & dwelling entries above the street level provide surveillance & improve visual privacy for ground level dwellings	YES	
	Upper level balconies & windows overlook the public domain	YES	
	Front fences & walls along street frontages use visually permeable materials & treatments. Height of solid fences or walls is limited to 1m	The site slopes from the southwest to the northeast by 3.5m with ground floor apartments stepping down the street. These are raised above the footpath for privacy between 600mm and 1.5m, with the exception of the south west elevation where an increased slope and proximity to a public park (with play equipment) requires increased privacy. A layered landscaped buffer provides a visual transition between the footpath and the floor slab with palisade fencing above.	NO

ADG Ref.	Item Description	Notes	Compliance
Length of solid walls is limited along street frontages			
Opportunities for casual interaction between residents & the public domain is provided for. Design solutions may include seating at building entries, near letter boxes & in private courtyards adjacent to streets			
In developments with multiple buildings and/or entries, pedestrian entries & spaces associated with individual buildings/entries are differentiated to improve legibility for residents, using the following design solutions:			
	• Architectural detailing		
	• Changes in materials		
	• Plant Species		
	• Colours		
	• Opportunities for people to be concealed are minimised		
3C-2 p53	Objective: Amenity of the public domain is retained & enhanced.	✓	
	Design Guidance	Considered	
	Planting is used to soften the edges of any raised terraces to the street, for example above sub-basement car parking	YES	
	Mail boxes are located in lobbies, perpendicular to the street alignment or integrated into front fences where individual street entries are provided	YES	
	The visual prominence of underground car park vents is minimised & located at a low level where possible	YES	
	Substations, pump rooms, garbage storage areas & other service requirements are located in basement car parks or out of view	The substation access is carefully integrated into the carpark entrance	YES
	Ramping for accessibility is minimised by building entry location & setting ground floor levels in relation to footpath levels	Entrances have where possible been design to have walkways at 1:20. The only exception to this is the Verona Street entry where a 1:14 ramp has been integrated into the landscaped set back.	YES
	Durable, graffiti resistant & easily cleanable materials are used	YES	
	Where development adjoins public parks, open space or bushland, the design positively addresses this interface & uses the following design solutions:		
	• Street access, pedestrian paths & building entries are clearly defined		
	• Paths, low fences & planting are clearly delineate between communal/private open space & the adjoining public open space		
	• Minimal use of blank walls, fences & ground level parking		
	On sloping sites protrusion of car parking above ground level is minimised by using split levels to step underground car parking	YES	
COMMUNAL & PUBLIC OPEN SPACE			
3D-1 p55	Objective: An adequate area of communal open space is provided to enhance residential amenity & to provide opportunities for landscaping.	✓	
	Design Criteria		
1	Communal open space has a minimum area equal to 25% of the site	✓	
2	Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of 2 hours between 9 am and 3 pm on 21 June (mid winter)	✓	
	Design Guidance	Considered	
	Communal open space is consolidated into a well designed, easily identified & usable area	The communal open space is located at level 02 and is easily accessed by all residents via either the lift lobbies or directly from the garden apartments out door space. Additional stair access from Marine Parade is provided.	YES
	Communal open space have a minimum dimension of 3m. Larger developments should consider greater dimensions	YES	

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
	Communal open space are co-located with deep soil areas	Communal open space has been provided in the form of a podium above car parking. A split level basement ensures good soil depth of 1100mm. Raised planters provide additional depth for larger tree planting, and a varied landscape.	NO
	Direct, equitable access are provided to communal open space areas from common circulation areas, entries & lobbies	Accessible access is provided via lifts from all cores. Ramp access and an accessible WC is provided within the pool area.	YES
	Where communal open space cannot be provided at ground level, it is provided on a podium or roof		N/A
	Where developments are unable to achieve the design criteria, such as on small lots, sites within business zones, or in a dense urban area, they need to:		NA
	<ul style="list-style-type: none"> Provide communal spaces elsewhere such as a landscaped roof top terrace or a common room Provide larger balconies or increased private open space for apartments Demonstrate good proximity to public open space & facilities and/or provide contributions to public open space 		
3D-2 p57	Objective: Communal open space is designed to allow for a range of activities, respond to site conditions & be attractive and inviting		✓
	Design Guidance	Considered	
	Facilities are provided within communal open spaces & common spaces for a range of age groups (see 4F Common Circulation & Spaces), incorporating the following:		
	<ul style="list-style-type: none"> Seating for individuals or groups Barbeque areas Play equipment or play areas Swimming pools, gyms, tennis courts or common rooms 	YES	
	Location of facilities responds to microclimate & site conditions with access to sun in winter, shade in summer & shelter from strong winds & down drafts		YES
	Visual impacts of services are minimised, including location of ventilation duct outlets from basement car parks, electrical substations & detention tanks		YES
3D-3 p57	Objective: Communal open space is designed to maximise safety.		✓
	Design Guidance	Considered	
	Communal open space & public domain should be readily visible from habitable rooms & private open space areas while maintaining visual privacy. Design solutions include:		
	<ul style="list-style-type: none"> Bay windows Corner windows Balconies 	YES	
	Communal open space is well lit		YES
	Communal open space/facilities that are provided for children & young people are safe and contained	The communal open space is located in the centre of the development and receives passive surveillance from the overlooking of habitable rooms above and outdoor areas of adjacent garden apartments.	YES
3D-4 p59	Objective: Public open space, where provided, responds to the existing pattern & uses of the neighbourhood.		✓
	Design Guidance	Considered	
	Public open space is well connected with public streets along at least one edge		YES
	POS is connected with nearby parks & other landscape elements		YES
	POS is linked through view lines, pedestrian desire paths, termination points & the wider street grid		YES
	Solar access is provided year round along with protection from strong winds		YES

ADG Ref.	Item Description	Notes	Compliance															
	Opportunities for a range of recreational activities is provided for people of all ages		YES															
	Positive street address & active street frontages are provided adjacent to POS		YES															
	Boundaries are clearly defined between POS & private areas		YES															
3E 3E-1 p61	DEEP SOIL ZONES Objective: Deep soil zones are suitable for healthy plant & tree growth, improve residential amenity and promote management of water and air quality.		✓															
	Design Criteria																	
1	Deep soil zones are to meet the following minimum requirements:																	
		<table border="1"> <thead> <tr> <th>Site Area (sqm)</th> <th>Minimum Dim. (m)</th> <th>Deep Soil Zone (% of site area)</th> </tr> </thead> <tbody> <tr> <td>less than 650</td> <td>-</td> <td></td> </tr> <tr> <td>650-1500</td> <td>3</td> <td></td> </tr> <tr> <td>greater than 1500</td> <td>6</td> <td></td> </tr> <tr> <td>greater than 1500 with significant existing tree cover</td> <td>6</td> <td>7</td> </tr> </tbody> </table>	Site Area (sqm)	Minimum Dim. (m)	Deep Soil Zone (% of site area)	less than 650	-		650-1500	3		greater than 1500	6		greater than 1500 with significant existing tree cover	6	7	
Site Area (sqm)	Minimum Dim. (m)	Deep Soil Zone (% of site area)																
less than 650	-																	
650-1500	3																	
greater than 1500	6																	
greater than 1500 with significant existing tree cover	6	7																
			This proposed development achieves 694m ² of deep soil which equates 7.7% of the 9044m ² site. Despite the nominal non-compliance there will still be adequate soil depth for significant trees in communal outdoor space.															
			NO															
	Design Guidance	Considered																
	On some sites it may be possible to provide larger deep soil zones, depending on the site area & context:																	
	<ul style="list-style-type: none"> 10% of the site as deep soil on sites with an area of 650sqm - 1,500sqm 15% of the site as deep soil on sites greater than 1,500sqm 		N/A															
	Deep soil zones are located to retain existing significant trees & to allow for the development of healthy root systems, providing anchorage & stability for mature trees. Design solutions may include:																	
	<ul style="list-style-type: none"> Basement & sub-basement car park design that is consolidated beneath building footprints Use of increased front & side setbacks Adequate clearance around trees to ensure long term health Co-location with other deep soil areas on adjacent sites to create larger contiguous areas of deep soil 		YES															
	Achieving the design criteria may not be possible on some sites including where:																	
	<ul style="list-style-type: none"> location & building typology have limited or no space for deep soil at ground level (e.g. central business district, constrained sites, high density areas, or in centres) there is 100% site coverage or non-residential uses at ground floor level 		N/A															
	Where a proposal does not achieve deep soil requirements, acceptable stormwater management is achieved & alternative forms of planting provided																	
3F 3F-1 p63	VISUAL PRIVACY Objective: Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external & internal visual privacy.		✓															
	Design Criteria																	

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance												
1	Separation between windows & balconies is provided to ensure visual privacy is achieved. Minimum required separation distances from buildings to the side & rear boundaries are as follows:		✓												
	<table border="1"> <thead> <tr> <th>Building Height (m)</th> <th>Habitable Rooms & Balconies. (m)</th> <th>Non-Habitable Rooms (m)</th> </tr> </thead> <tbody> <tr> <td>up to 12 (4 storeys)</td> <td>6</td> <td>3</td> </tr> <tr> <td>up to 25 (5-8 storeys)</td> <td>9</td> <td>4.5</td> </tr> <tr> <td>over 25 (9+ storeys)</td> <td>12</td> <td>6</td> </tr> </tbody> </table>	Building Height (m)	Habitable Rooms & Balconies. (m)	Non-Habitable Rooms (m)	up to 12 (4 storeys)	6	3	up to 25 (5-8 storeys)	9	4.5	over 25 (9+ storeys)	12	6		
Building Height (m)	Habitable Rooms & Balconies. (m)	Non-Habitable Rooms (m)													
up to 12 (4 storeys)	6	3													
up to 25 (5-8 storeys)	9	4.5													
over 25 (9+ storeys)	12	6													
	Note: Separation distances between buildings on the same site should combine required building separations depending on the type of room.														
	Gallery access circulation should be treated as habitable space when measuring privacy separation distances between neighbouring properties.														
	Design Guidance	Considered													
	Generally as the height increases, one step in the built form is desirable due to building separations. Any additional steps do not to cause a 'ziggurat' appearance	YES													
	For residential buildings next to commercial buildings, separation distances are measured as follows:														
	<ul style="list-style-type: none"> Retail, office spaces & commercial balconies use the habitable room distances Service & plant areas use the non-habitable room distances 	NA													
	New developments are located & oriented to maximise visual privacy between buildings on site & for neighbouring buildings. Design solutions include:														
	<ul style="list-style-type: none"> site layout & building are orientated to minimise privacy impacts (see 3B Orientation) on sloping sites, apartments on different levels have appropriate visual separation distances (see pg 63 figure 3F.4) 	NA													
	Apartment buildings have an increased separation distance of 3m (in addition to 3F-1 Design Criteria) when adjacent to a different zone that permits lower density residential development, to provide for a transition in scale & increased landscaping (pg 63 figure 3F.5)	NA													
	Direct lines of sight are avoided for windows & balconies across corners	Angled fixed vertical louvres are provided as privacy measures for windows and balconies across corners within the building.	YES												
	No separation is required between blank walls		YES												
3F-2 p65	Objective: Site & building design elements increase privacy without compromising access to light & air and balance outlook & views from habitable rooms & private open space.	✓													
	Design Guidance	Considered													
	Communal open space, common areas & access paths are separated from private open space & windows to apartments, particularly habitable room windows. Design solutions include:														
	<ul style="list-style-type: none"> setbacks solid or partially solid balustrades on balconies at lower levels fencing and/or trees and vegetation to separate spaces screening devices bay windows or pop out windows to provide privacy in one direction & outlook in another raising apartments or private open space above the public domain or communal open space planter boxes incorporated into walls & balustrades to increase visual separation pergolas or shading devices to limit overlooking of lower apartments or private open space on constrained sites where it can be demonstrated that building layout opportunities are limited, fixed louvres or screen panels on windows and/or balconies 	Private spaces are raised above adjacent common open space and access paths. Raised planter boxes with palisade fencing above provide screening between outdoor private space and the communal outdoor space.	YES												

ADG Ref.	Item Description	Notes	Compliance
	Bedrooms, living spaces & other habitable rooms are separated from gallery access & other open circulation space by the apartment's service areas		NA
	Balconies & private terraces are located in front of living rooms to increase internal privacy		NO
	Windows are offset from the windows of adjacent buildings		NO
	Recessed balconies and/or vertical fins are used between adjacent balconies		YES
3G p67	PEDESTRIAN ACCESS & ENTRIES	✓	
3G-1 p67	Objective: Building entries & pedestrian access connects to and addresses the public domain.	Considered	
	Design Guidance		
	Multiple entries (including communal building entries & individual ground floor entries) activate the street edge	YES	
	Entry locations relate to the street & subdivision pattern, and the existing pedestrian network		NO
	Building entries are clearly identifiable. Communal entries are clearly distinguishable from private entries	YES	
	Where street frontage is limited, a primary street address should be provided with clear sight lines and pathways to secondary building entries	NA	
3G-2 p67	Objective: Access, entries & pathways are accessible & easy to identify.	✓	
	Design Guidance	Considered	
	Building access areas including lift lobbies, stairwells & hallways are clearly visible from the public domain & communal spaces	YES	
	The design of ground floors & underground car parks minimise level changes along pathways & entries	YES	
	Steps & ramps are integrated into the overall building & landscape design	YES	
	For large developments 'way finding' maps are provided to assist visitors & residents	NA	
	For large developments electronic access & audio/video intercom are provided to manage access	YES	
3G-3 p67	Objective: Large sites provide pedestrian links for access to streets & connection to destinations.	✓	
	Design Guidance	Considered	
	Pedestrian links through sites facilitate direct connections to open space, main streets, centres & public transport		YES
	Pedestrian links are direct, have clear sight lines, are overlooked by habitable rooms or private open spaces of dwellings, are well lit & contain active uses, where appropriate	YES	
3H p69	VEHICLE ACCESS	✓	
3H-1 p69	Objective: Vehicle access points are designed & located to achieve safety, minimise conflicts between pedestrians & vehicles and create high quality streetscapes.	Considered	
	Design Guidance		

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
	Car park access is integrated with the building's overall facade. Design solutions include:		
	· materials & colour palette minimise visibility from street		YES
	· security doors/gates minimise voids in the facade		
	· where doors are not provided, visible interiors reflect facade design, and building services, pipes & ducts are concealed		
	Car park entries are located behind the building line		YES
	Vehicle entries are located at the lowest point of the site, minimising ramp lengths, excavation & impacts on the building form and layout		YES
	Car park entry & access are located on secondary streets or lanes where available	The car park entry is located half way along the Verona Drive elevation. This is the lowest accessible point between two cores.	NO
	Vehicle standing areas that increase driveway width & encroach into setbacks are avoided		NA
	Access point is located to avoid headlight glare to habitable rooms	Although habitable rooms are located above the access way to the car park a canopy has been introduced to improve outlook and alleviate head light glare	YES
	Adequate separation distances are provided between vehicle entries & street intersections		YES
	The width & number of vehicle access points are limited to the minimum		YES
	Visual impact of long driveways is minimised through changing alignments & screen planting		NA
	The need for large vehicles to enter or turn around within the site is avoided	Adequate head height and turn table have been allowed for within the car park for waste vehicles so as to provide an internal waste collection process	NO
	Garbage collection, loading & servicing areas are screened		NA
	Clear sight lines are provided at pedestrian & vehicle crossings		YES
	Traffic calming devices, such as changes in paving material or textures, are used where appropriate		YES
	Pedestrian & vehicle access are separated & distinguishable. Design solutions include:		
	· Changes in surface materials		
	· Level changes		
	· Landscaping for separation		YES
3J	BICYCLE & CAR PARKING		
3J-1 p71	Objective: Car parking is provided based on proximity to public transport in metropolitan Sydney & centres in regional areas.		✓
	Design Criteria		
1	For development in the following locations:		
	· on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area; or		
	· on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre		
	the minimum car parking requirement for residents & visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less.		✓
	The car parking needs for a development must be provided off street.		
	Design Guidance		
	Where a car share scheme operates locally, car share parking spaces are provided within the development.	A car share space has been provided and is located on the north west corner of the site on the new foreshore street	Considered
	Where less car parking is provided in a development, council do not provide on street resident parking permits		YES
3J-2 p71	Objective: Parking & facilities are provided for other modes of transport.		✓

ADG Ref.	Item Description	Notes	Compliance
	Design Guidance		Considered
	Conveniently located & sufficient numbers of parking spaces are provided for motorbikes & scooters		YES
	Secure undercover bicycle parking is provided & easily accessible from both public domain & common areas		YES
	Conveniently located charging stations are provided for electric vehicles, where desirable	Not considered desirable for this development.	NA
3J-3 p73	Objective: Car park design & access is safe and secure.		✓
	Design Guidance		Considered
	Supporting facilities within car parks, including garbage, plant & switch rooms, storage areas & car wash bays can be accessed without crossing car parking spaces		YES
	Direct, clearly visible & well lit access is provided into common circulation areas		YES
	Clearly defined & visible lobby or waiting area is provided to lifts & stairs		YES
	For larger car parks, safe pedestrian access is clearly defined & circulation areas have good lighting, colour, line marking and/or bollards		YES
3J-4 p73	Objective: Visual & environmental impacts of underground car parking are minimised.		✓
	Design Guidance		Considered
	Excavation minimised through efficient car park layouts & ramp design		YES
	Car parking layout is well organised, using a logical, efficient structural grid & double loaded aisles		YES
	Protrusion of car parks do not exceed 1m above ground level. Solution include stepping car park levels or using split levels on sloping sites	The basement car parking protrusion above ground varies from approximately 1m to 1.6m above ground as the ground floor apartment's step down the sloped site. The layered landscaped set back provides a transition zone to ensure a soft edge to the basement.	NO
	Natural ventilation is provided to basement & sub-basement car parking	The basement is mechanically ventilated due to its location below ground. This minimises the protrusion of the car park above ground.	NO
	Ventilation grills or screening devices for car parking openings are integrated into the facade & landscape design		YES
3J-5 p75	Objective: Visual & environmental impacts of on-grade car parking are minimised.		✓
	Design Guidance		Considered
	On-grade car parking is avoided		YES
	Where on-grade car parking is unavoidable, the following design solutions are used:		
	· Parking is located on the side or rear of the lot away from the primary street frontage		
	· Cars are screened from view of streets, buildings, communal & private open space areas		
	· Safe & direct access to building entry points is provided		
	· Parking is incorporated into the landscape design, by extending planting & materials into the car park space		
	· Stormwater run-off is managed appropriately from car parking surfaces		
	· Bio-swales, rain gardens or on site detention tanks are provided, where appropriate		
	· Light coloured paving materials or permeable paving systems are used. Shade trees are planted between every 4-5 parking spaces to reduce increased surface temperatures to large areas of paving		NA
3J-6 p75	Objective: Visual & environmental impacts of above ground enclosed car parking are minimised.		YES
	PART4 DESIGNING THE BUILDING		

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
4A SOLAR & DAYLIGHT ACCESS			
4A-1 p79 Objective: To optimise number of apartments receiving sunlight to habitable rooms, primary windows & private open space.			
Design Criteria			
1	Living rooms & private open spaces of at least 70% of apartments in a building receive a minimum of 2 hrs direct sunlight between 9am - 3pm at mid winter in Sydney Metropolitan Area and in Newcastle and Wollongong local government areas		✓
3	A maximum of 15% of apartments in a building receive no direct sunlight between 9 am - 3 pm at mid winter		✓
Design Guidance			
The design maximises north aspect. The number of single aspect south facing apartments is minimised		YES	
Single aspect, single storey apartments have a northerly or easterly aspect		NO	
Living areas are located to the north and service areas to the south & west of apartments		YES	
To optimise direct sunlight to habitable rooms & balconies a number of the following design features are used:			
<ul style="list-style-type: none"> Dual aspect apartments Shallow apartment layouts Two storey & mezzanine level apartments Bay windows 		YES	
To maximise the benefit to residents of direct sunlight within living rooms & private open spaces, a minimum of 1sqm of direct sunlight, measured at 1m above floor level, is achieved for at least 15 minutes			
Achieving the design criteria may not be possible where:			
<ul style="list-style-type: none"> greater residential amenity can be achieved along a busy road or rail line by orientating the living rooms away from the noise source on south facing sloping sites significant views are oriented away from the desired aspect for direct sunlight 		YES	
Design drawings need to demonstrate how site constraints & orientation preclude meeting Design Criteria & how the development meets the objective.			
4A-2 p81 Objective: Daylight access is maximised where sunlight is limited.			✓
Design Guidance			
The 3 bed terrace houses which face southeast (and the waterfront) have had courtyard spaces and highlight windows incorporated to maximise daylight access.		YES	
The upper level terrace apartments use skylights to provide additional sunlight & daylight.			
Opportunities for reflected light into apartments are optimised through:			
<ul style="list-style-type: none"> Reflective exterior surfaces on buildings opposite south facing windows Positioning windows to face other buildings or surfaces (on neighbouring sites or within site) that will reflect light Integrating light shelves into the design Light coloured internal finishes 		YES	
4A-3 p81 Objective: Design incorporates shading & glare control, particularly for warmer months.			✓
Design Guidance			

ADG Ref.	Item Description	Notes	Compliance
A number of the following design features are used:			
<ul style="list-style-type: none"> Balconies or sun shading that extend far enough to shade summer sun, but allow winter sun to penetrate living areas Shading devices such as eaves, awnings, balconies, pergolas, external louvres & planting Horizontal shading to north facing windows Vertical shading to east & particularly west facing windows Operable shading to allow adjustment & choice High performance glass that minimises external glare off windows, with consideration given to reduce tint glass or glass with a reflectance level below 20% (reflective films are avoided) 			
4B	NATURAL VENTILATION		
4B-1 p83 Objective: All habitable rooms are naturally ventilated.			✓
Design Guidance			
The building's orientation maximises capture & use of prevailing breezes for natural ventilation in habitable rooms		YES	
Depths of habitable rooms support natural ventilation		YES	
The area of unobstructed window openings should be equal to at least 5% of the floor area served		YES	
Light wells are not the primary air source for habitable rooms		YES	
Doors & openable windows maximise natural ventilation opportunities by using the following design solutions:			
<ul style="list-style-type: none"> Adjustable windows with large effective openable areas Variety of window types that provide safety & flexibility such as awnings & louvres Windows that occupants can reconfigure to funnel breezes into apartment, such as vertical louvres, casement windows & externally opening doors 		YES	
4B-2 p83 Objective: The layout & design of single aspect apartments maximises natural ventilation.			✓
Design Guidance			
Apartment depths limited to maximise ventilation & airflow		YES	
Natural ventilation to single aspect apartments is achieved with the following design solutions:			
<ul style="list-style-type: none"> Primary windows are augmented with plenums and light wells (generally not suitable for cross ventilation) Stack effect ventilation, solar chimneys or similar used to naturally ventilate internal building areas or rooms such as bathrooms & laundries Courtyards or building indentations have a width to depth ratio of 2:1 or 3:1 to ensure effective air circulation & avoid trapped smells 		YES	
4B-3 p85 Objective: Number of apartments with natural cross vent is maximised to create comfortable indoor environments for residents.			✓
Design Criteria			
1	At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed		✓
2	Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line		✓
Design Guidance			
The building includes dual aspect apartments, cross through apartments & corner apartments, and limited apartment depths		YES	
In cross-through apartments, external window & door opening sizes/areas on one side of an apartment (inlet side) are approximately equal to the external window & door opening sizes/areas on the other side of the apartment (outlet side)			
Apartments are designed to minimise the number of corners, doors & rooms that might obstruct airflow		YES	

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance												
	Apartment depths, combined with appropriate ceiling heights, maximise cross ventilation & airflow		YES												
4C 4C-1 p87	CEILING HEIGHTS Objective: Ceiling height achieves sufficient natural ventilation & daylight access.		✓												
	Design Criteria														
1	Measured from finished floor level to finished ceiling level, minimum ceiling heights are:	Ceiling heights in living rooms and bedrooms will be 2.7m, however kitchens will have a 2.4m ceiling height to accommodate services within the ceiling from the apartments above	NO												
	<table border="1"> <thead> <tr> <th colspan="2">Minimum Ceiling Height for apt and mixed-used buildings (m)</th> </tr> </thead> <tbody> <tr> <td>Habitable rooms</td><td>2.7</td></tr> <tr> <td>Non-habitable rooms</td><td>2.4</td></tr> <tr> <td>For 2 storey apts</td><td>2.7 for main living area floor 2.4 for second floor, where its area does not exceed 50% of the apt area</td></tr> <tr> <td>Attic spaces</td><td>1.8 at edge of room with 30deg minimum ceiling slope</td></tr> <tr> <td>If located in mixed-used areas</td><td>3.3 for ground and first floor to promote future flexibility of use</td></tr> </tbody> </table>	Minimum Ceiling Height for apt and mixed-used buildings (m)		Habitable rooms	2.7	Non-habitable rooms	2.4	For 2 storey apts	2.7 for main living area floor 2.4 for second floor, where its area does not exceed 50% of the apt area	Attic spaces	1.8 at edge of room with 30deg minimum ceiling slope	If located in mixed-used areas	3.3 for ground and first floor to promote future flexibility of use		
Minimum Ceiling Height for apt and mixed-used buildings (m)															
Habitable rooms	2.7														
Non-habitable rooms	2.4														
For 2 storey apts	2.7 for main living area floor 2.4 for second floor, where its area does not exceed 50% of the apt area														
Attic spaces	1.8 at edge of room with 30deg minimum ceiling slope														
If located in mixed-used areas	3.3 for ground and first floor to promote future flexibility of use														
	These minimums do not preclude higher ceilings if desired														
	Design Guidance		Considered												
	Ceiling height accommodates use of ceiling fans for cooling & heat distribution	The ceiling heights to habitable rooms can accommodate ceiling fans if required.	YES												
4C-2 p87	Objective: Ceiling height increases the sense of space in apartments & provides for well proportioned rooms.		✓												
	Design Guidance		Considered												
	A number of the following design solutions are used:														
	<ul style="list-style-type: none"> Hierarchy of rooms in apartment is defined using changes in ceiling heights & alternatives such as raked or curved ceilings, or double height spaces Well proportioned rooms are provided, for example, smaller rooms feel larger & more spacious with higher ceilings Ceiling heights are maximised in habitable rooms by ensuring that bulkheads do not intrude. The stacking of service rooms from floor to floor & coordination of bulkhead location above non-habitable areas, such as robes or storage, can assist 		YES												
4C-3 p87	Objective: Ceiling heights contribute to the flexibility of building use over the life of the building.		✓												
	Design Guidance		Considered												
	Ceiling heights of lower level apartments should be greater than the minimum required by Design Criteria allowing flexibility & conversion to non-residential uses		YES												
4D 4D-1 p89	APARTMENT SIZE & LAYOUT Objective: The layout of rooms within apartment is functional, well organised & provides a high standard of amenity.		✓												
	Design Criteria														

ADG Ref.	Item Description	Notes	Compliance										
	1 Apartments have the following minimum internal areas:												
	<table border="1"> <thead> <tr> <th>Apartment Type</th> <th>Minimum Internal Area (sqm)</th> </tr> </thead> <tbody> <tr> <td>Studio</td><td>35</td></tr> <tr> <td>1 Bedroom</td><td>50</td></tr> <tr> <td>2 Bedroom</td><td>70</td></tr> <tr> <td>3 Bedroom</td><td>90</td></tr> </tbody> </table>	Apartment Type	Minimum Internal Area (sqm)	Studio	35	1 Bedroom	50	2 Bedroom	70	3 Bedroom	90		YES
Apartment Type	Minimum Internal Area (sqm)												
Studio	35												
1 Bedroom	50												
2 Bedroom	70												
3 Bedroom	90												
	The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5sqm each.												
	A fourth bedroom & further additional bedrooms increase the minimum internal area by 12sqm each												
2	Every habitable room has a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight & air is not borrowed from other rooms		✓										
	Design Guidance		Considered										
	Kitchens is not located as part of the main circulation space in larger apartments (such as hallway or entry space)		YES										
	A window is visible from any point in a habitable room		YES										
	Where minimum areas or room dimensions are not met, apartments demonstrate that they are well designed and demonstrate the usability & functionality of the space with realistically scaled furniture layouts & circulation areas.	Unit type plans with realistically scaled furniture are demonstrated in drawing series A.05.	YES										
4D-2 p89	Objective: Environmental performance of the apartment is maximised.		✓										
	Design Criteria												
1	Habitable room depths are limited to a maximum of 2.5 x the ceiling height		✓										
2	In open plan layouts (living, dining & kitchen are combined) maximum habitable room depth is 8m from a window	Generally, kitchen depths are of approximately 8m to 8.5m have been provided to the open plan layouts with ceilings of 2.7m generally.	✓										
	Design Guidance		Considered										
	Greater than minimum ceiling heights allow for proportional increases in room depth up to the permitted max depths		YES										
	All living areas & bedrooms are located on the external face of building		YES										
	Where possible:	Bathrooms and laundries are typically located to the rear of the apartments in order to maximise daylight and ventilation to habitable bedrooms and living rooms.											
	<ul style="list-style-type: none"> bathrooms & laundries have external openable window main living spaces are oriented toward the primary outlook & aspect and away from noise sources 	Living spaces are orientated toward the primary outlook where possible and away from noise sources.	YES										
4D-3 p91	Objective: Apartment layouts are designed to accommodate a variety of household activities & needs.		✓										
	Design Criteria												
1	Master bedrooms have a minimum area of 10sqm & other bedrooms 9sqm (excluding wardrobe space)		✓										
2	Bedrooms have a minimum dimension of 3m (excluding wardrobe space)		✓										
3	Living rooms or combined living/dining rooms have a minimum width of: <ul style="list-style-type: none"> 3.6m for studio & 1 bedroom apartments 4m for 2 & 3 bedroom apartments 		✓										
4	The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts		✓										
	Design Guidance		Considered										

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
	Access to bedrooms, bathrooms & laundries is separated from living areas minimising direct openings between living & service areas	The majority of units have an isolated living space, separated from access to bedrooms, bathrooms and services areas. Some apartment types are arranged so that a bedroom is accessed through the dining or living area. This provides for a range of apartment types and allows for residents who prefer a separated master bedroom	NO
	All bedrooms allow a minimum length of 1.5m for robes		YES
	Main bedroom of apartment or studio apartment is provided with a wardrobe of minimum 1.8m L x 0.6m D x 2.1m H	This is achieved with the exception of 9 units. 1B Type A & 1B Type B achieve 1.7m long	NO
	Apartment layouts allow flexibility over time, design solutions include:		
	<ul style="list-style-type: none"> Dimensions that facilitate a variety of furniture arrangements & removal Spaces for a range of activities & privacy levels between different spaces within the apartment Dual master apartments Dual key apartments Note: dual key apartments which are separate but on the same title are regarded as two sole occupancy units for the purposes of the BCA & for calculating mix of apartments Room sizes & proportions or open plans (rectangular spaces 2:3 are more easily furnished than square spaces 1:1) Efficient planning of circulation by stairs, corridors & through rooms to maximise the amount of usable floor space in rooms 	YES	

4E PRIVATE OPEN SPACE & BALCONIES

4E-1	Objective: Apartments provide appropriately sized private open space & balconies to enhance residential amenity.	✓
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Design Criteria

- 1 All apartments are required to have primary balconies as follows:

Apartment Type	Minimum Area (sqm)	Minimum Depth (m)
Studio	4	-
1 Bedroom	8	2
2 Bedroom	10	2
3+ Bedroom	12	2.4

The minimum balcony depth to be counted as contributing to the balcony area is 1m

Design Guidance

Increased communal open space are provided where the number or size of balconies are reduced

Considered

NA

Storage areas on balconies is additional to the minimum balcony size

NA

Balcony use may be limited in some proposals where:

- consistently high wind speeds at 10 storeys & above
- close proximity to road, rail or other noise sources
- exposure to significant levels of aircraft noise
- heritage & adaptive reuse of existing buildings

In these situations,

- juliet balconies,
- operable walls,
- enclosed wintergardens
- bay windows

are appropriate. Other amenity benefits for occupants are provided in the apartments or in the development or both. Natural ventilation is also demonstrated

NA

4E-2	Objective: Primary private open space & balconies are appropriately located to enhance liveability for residents	✓
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Design Guidance

Considered

ADG Ref.	Item Description	Notes	Compliance
	Primary open space & balconies are located adjacent to the living room, dining room or kitchen to extend the living space		YES
	POS & balconies predominantly face north, east or west		YES
	POS & balconies are orientated with the longer side facing outwards or be open to the sky to optimise daylight access into adjacent rooms		YES
4E-3 p95	Objective: Private open space & balcony design is integrated into & contributes to the overall architectural form & detail of the building		✓

Design Guidance	Considered
Solid, partially solid or transparent fences & balustrades are selected to respond to the location. They are designed to allow views & passive surveillance of the street while maintaining visual privacy & allowing for a range of uses on the balcony. Solid & partially solid balustrades are preferred	The proposal includes predominantly perforated balcony balustrades in order to balance the need for privacy and maximise views/passive surveillance of the street.
Full width full height glass balustrades alone are generally not desirable	NO
Projecting balconies are integrated into the building design. The design of soffits are considered	NA
Operable screens, shutters, hoods & pergolas are used to control sunlight & wind	YES
Balustrades are set back from the building or balcony edge where overlooking or where safety is an issue	YES
Downpipes & balcony drainage are integrated with the overall facade & building design	YES
Air-conditioning units are located on roofs, in basements, or fully integrated into the building design	Large terrace units have their A/C units integrated into their seating/planting.
Where clothes drying, storage or air conditioning units are located on balconies, they are screened & integrated in the building design	See above
Ceilings of apartments below terraces are insulated to avoid heat loss	YES
Water & gas outlets are provided for primary balconies & private open space	YES

4E-4 p95	Objective: Private open space & balcony design maximises safety	✓
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Design Guidance	Considered
Changes in ground levels or landscaping are minimised	YES
Balcony design & detailing avoids opportunities for climbing & falling	YES

4F COMMON CIRCULATION & SPACES

4F-1 p97	Objective: Common circulation spaces achieve good amenity & properly service the number of apartments	✓
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Design Criteria	
1 The maximum number of apartments off a circulation core on a single level is eight	✓
2 For buildings of 10 storeys & over, the maximum number of apartments sharing a single lift is 40	N/A

Design Guidance	Considered
Greater than minimum requirements for corridor widths and/or ceiling heights allow comfortable movement & access particularly in entry lobbies, outside lifts & at apartment entry doors	YES
Daylight & natural ventilation are provided to all common circulation spaces that are above ground	YES
Windows are provided in common circulation spaces & are adjacent to the stair or lift core or at the ends of corridors	YES

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance										
	Longer corridors greater than 12m in length from the lift core are articulated. Design solutions include: <ul style="list-style-type: none"> Series of foyer areas with windows & spaces for seating Wider areas at apartment entry doors & varied ceiling heights 		NA										
	Common circulation spaces maximise opportunities for dual aspect apartments, including multiple core apartment buildings & cross over apartments		YES										
	Achieving Design Criteria for the number of apartments off a circulation core may not be possible. Where development is unable to achieve this, a high level of amenity for common lobbies, corridors & apartments is demonstrated, including: <ul style="list-style-type: none"> Sunlight & natural cross ventilation in apartments Access to ample daylight & natural ventilation in common circulation spaces Common areas for seating & gathering Generous corridors with greater than minimum ceiling heights Other innovative design solutions that provide high levels of amenity 		NA										
	Where Design Criteria 1 is not achieved, no more than 12 apartments should be provided off a circulation core on a single level		NA										
	Primary living room or bedroom windows do not open directly onto common circulation spaces, open or enclosed. Visual & acoustic privacy from common circulation spaces to any other rooms are carefully controlled		YES										
4F-2 p99	Objective: Common circulation spaces promote safety & provide for social interaction between residents		✓										
	Design Guidance		Considered										
	Direct & legible access are provided between vertical circulation points & apartment entries by minimising corridor or gallery length to give short, straight, clear sight lines		YES										
	Tight corners & spaces are avoided		YES										
	Circulation spaces are well lit at night		YES										
	Legible signage are provided for apartment numbers, common areas & general wayfinding		YES										
	Incidental spaces, eg space for seating in a corridor, at a stair landing, or near a window are provided		NO										
	In larger developments, community rooms for activities such as owners corporation meetings or resident use, are provided & are co-located with communal open space		NA										
	Where external galleries are provided, they are more open than closed above the balustrade along their length		NA										
4G	STORAGE												
4G-1 p101	Objective: Adequate, well designed storage is provided in each apartment		✓										
	Design Criteria												
1	In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:												
	<table border="1"> <thead> <tr> <th>Apartment Type</th> <th>Storage Size Volume (cubic m)</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>4</td> </tr> <tr> <td>1 Bedroom</td> <td>6</td> </tr> <tr> <td>2 Bedroom</td> <td>8</td> </tr> <tr> <td>3+ Bedroom</td> <td>10</td> </tr> </tbody> </table>	Apartment Type	Storage Size Volume (cubic m)	Studio	4	1 Bedroom	6	2 Bedroom	8	3+ Bedroom	10		✓
Apartment Type	Storage Size Volume (cubic m)												
Studio	4												
1 Bedroom	6												
2 Bedroom	8												
3+ Bedroom	10												
	At least 50% of the required storage is to be located within the apartment												
	Design Guidance		Considered										
	Storage is accessible from either circulation or living areas		YES										
	Storage provided on balconies (in addition to the minimum balcony size) is integrated into the balcony design, weather proofed & screened from view from the street		NA										

ADG Ref.	Item Description	Notes	Compliance
	Left over space such as under stairs is used for storage		YES
4G-2 p101	Objective: Additional storage is conveniently located, accessible & nominated for individual apartments		✓
	Design Guidance		Considered
	Storage not located in apartments is secure and clearly allocated to specific apartments		YES
	Storage is provided for larger & less frequently accessed items		YES
	Storage space in internal or basement car parks is provided at the rear or side of car spaces or in cages, such that allocated car parking remains accessible	A mix of storage locations have been provided, some adjacent to car spaces, some in specific storage areas.	YES
	If communal storage rooms are provided they are accessible from common circulation areas of the building		YES
	Storage not located in apartment is integrated into the overall building design & not visible from public domain		YES
4H	ACOUSTIC PRIVACY		
4H-1 p103	Objective: Noise transfer is minimised through the siting of buildings & building layout		✓
	Design Guidance		Considered
	Adequate building separation is provided within the development & from neighbouring buildings/adjacent uses (see 2F Building Separation & 3F Visual Privacy)		YES
	Window & door openings are orientated away from noise sources		YES
	Noisy areas within buildings including building entries & corridors are located next to or above each other while quieter areas are located next to or above quieter areas		YES
	Storage, circulation areas & non-habitable rooms are located to buffer noise from external sources		YES
	The number of party walls (shared with other apartments) are limited & are appropriately insulated		YES
	Noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open spaces & circulation areas should be located at least 3m away from bedrooms	The driveway / garage door is located below bedrooms, however there is an increased vertical separation of 4.6m and canopy has been incorporated to provide a visual and physical barrier.	NO
4H-2 p103	Objective: Noise impacts are mitigated within apartments through layout & acoustic treatments		✓
	Design Guidance		Considered
	Internal apartment layout separates noisy spaces from quiet spaces, using a number of the following design solutions: <ul style="list-style-type: none"> Rooms with similar noise requirements are grouped together Doors separate different use zones Wardrobes in bedrooms are co-located to act as sound buffers 		YES
	Where physical separation cannot be achieved, noise conflicts are resolved using the following design solutions: <ul style="list-style-type: none"> Double or acoustic glazing Acoustic seals Use of materials with low noise penetration properties Continuous walls to ground level courtyards where they do not conflict with streetscape or other amenity requirements 		YES
4J	NOISE & POLLUTION		
4J-1 p105	Objective: In noisy or hostile environments impacts of external noise & pollution are minimised through careful siting & layout		✓
	Design Guidance		Considered

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance
	To minimise impacts the following design solutions are used: <ul style="list-style-type: none"> Physical separation between buildings & the noise or pollution source Residential uses are located perpendicular to the noise source & where possible buffered by other uses Non-residential buildings are sited to be parallel with the noise source to provide a continuous building that shields residential uses & communal open spaces Non-residential uses are located at lower levels vertically separating residential component from noise or pollution source. Setbacks to the underside of residential floor levels are increased, relative to traffic volumes & other noise sources Buildings respond to both solar access & noise. Where solar access is away from noise source, non-habitable rooms will provide a buffer Where solar access is in the same direction as the noise source, dual aspect apartments with shallow building depths are preferred Landscape design reduces the perception of noise & acts as a filter for air pollution generated by traffic & industry 		YES
	Where developments are unable to achieve Design Criteria, alternatives are considered in the following areas: <ul style="list-style-type: none"> Solar & daylight access Private open space & balconies Natural cross ventilation 		NA
4J-2 p105	Objective: Appropriate noise shielding or attenuation techniques for building design, construction & choice of materials are used to mitigate noise transmission		✓
	Design Guidance		Considered
	Design solutions to mitigate noise include: <ul style="list-style-type: none"> Limiting the number & size of openings facing noise sources Providing seals to prevent noise transfer through gaps Using double or acoustic glazing, acoustic louvres or enclosed balconies (wintergardens) Using materials with mass and/or sound insulation or absorption properties eg solid balcony balustrades, external screens & soffits 		YES
4K 4K-1 p107	APARTMENT MIX Objective: A range of apartment types & sizes is provided to cater for different household types now & into the future		✓
	Design Guidance		Considered
	A variety of apartment types is provided		YES
	The apartment mix is appropriate, taking into consideration: <ul style="list-style-type: none"> Distance to public transport, employment & education centres Current market demands & projected future demographic trends Demand for social & affordable housing Different cultural & socioeconomic groups 		YES
	Flexible apartment configurations are provided to support diverse household types & stages of life including single person households, families, multi-generational families & group households		YES
4K-2 p107	Objective: The apartment mix is distributed to suitable locations within the building		✓
	Design Guidance		Considered
	Different apartment types are located to achieve successful facade composition & to optimise solar access		YES
	Larger apartment types are located on ground or roof level where there is potential for more open space, and on corners where more building frontage is available		YES
4L 4M 4M-1 p111	GROUND FLOOR APARTMENTS FACADES Objective: Building facades provide visual interest along the street while respecting the character of the local area		✓

ADG Ref.	Item Description	Notes	Compliance
	Design Guidance		Considered
	Design solutions for front building facades include: <ul style="list-style-type: none"> Composition of varied building elements Defined base, middle & top of buildings Revealing & concealing certain elements 		YES
	Building services are integrated within the overall facade		YES
	Building facades are well resolved with appropriate scale & proportion to streetscape & with consideration of human scale. Solutions include: <ul style="list-style-type: none"> Well composed horizontal & vertical elements Variation in floor heights to enhance the human scale Elements that are proportional & arranged in patterns Public artwork or treatments to exterior blank walls Grouping of floors or elements such as balconies & windows on taller buildings 		YES
	Building facades relate to key datum lines of adjacent buildings through upper level setbacks, parapets, cornices, awnings or colonnade heights		NA
	Shadow is created on the facade throughout the day with building articulation, balconies & deeper window reveals		YES
4M-2 p111	Objective: Building functions are expressed by the facade		✓
	Design Guidance		Considered
	Building entries are clearly defined		YES
	Important corners are given visual prominence through change in articulation, materials or colour, roof expression or changes in height		YES
	Apartment layout is expressed externally through facade features such as party walls & floor slabs		YES
4N 4N-1 p113	ROOF DESIGN Objective: Roof treatments are integrated into the building design & positively respond to the street		✓
	Design Guidance		Considered
	Roof design relates to the street. Design solutions include: <ul style="list-style-type: none"> Special roof features & strong corners Use of skillion or very low pitch hipped roofs Breaking down the massing of the roof by using smaller elements to avoid bulk Using materials or pitched form complementary to adjacent buildings 		YES
	Roof treatments are integrated with the building design. Design solutions include: <ul style="list-style-type: none"> Roof design is in proportion to the overall building size, scale & form Roof materials compliment the building Service elements are integrated 		YES
4N-2 p113	Objective: Opportunities to use roof space for residential accommodation & open space are maximised		✓
	Design Guidance		Considered
	Habitable roof space are provided with good levels of amenity. Design solutions include: <ul style="list-style-type: none"> Penthouse apartments Dormer or clerestory windows Openable skylights 		YES
	Open space is provided on roof tops subject to acceptable visual & acoustic privacy, comfort levels, safety & security considerations		YES
4N-3 p113	Objective: Roof design incorporates sustainability features		✓
	Design Guidance		Considered

DA DESIGN REPORT

ADG Ref.	Item Description	Notes	Compliance								
	Roof design maximises solar access to apartments during winter & provides shade during summer. Design solutions include:	The three bed terrace house design incorporates a clerestory	YES								
	· Roof lifts to the north										
	· Eaves & overhangs shade walls & windows from summer sun										
	Skylights & ventilation systems are integrated into the roof design	YES									
4O 4O-1 p115	LANDSCAPE DESIGN Objective: Landscape design is viable & sustainable		✓								
	Design Guidance	Considered									
	Landscape design is environmentally sustainable & can enhance environmental performance by incorporating:										
	· Diverse & appropriate planting										
	· Bio-filtration gardens										
	· Appropriately planted shading trees										
	· Areas for residents to plant vegetables & herbs										
	· Composting										
	· Green roofs or walls	YES									
	Ongoing maintenance plans are prepared	YES									
	Microclimate is enhanced by:										
	· Appropriately scaled trees near the eastern & western elevations for shade										
	· Balance of evergreen & deciduous trees to provide shading in summer & sunlight access in winter										
	· Shade structures such as pergolas for balconies & courtyards	YES									
	Tree & shrub selection considers size at maturity & the potential for roots to compete.	YES									
4O-2 p115	Objective: Landscape design contributes to streetscape & amenity		✓								
	Design Guidance	Considered									
	Landscape design responds to the existing site conditions including:										
	· Changes of levels										
	· Views	YES									
	· Significant landscape features including trees & rock outcrops										
	Significant landscape features are protected by:										
	· Tree protection zones										
	· Appropriate signage & fencing during construction	NA									
	Plants selected are endemic to region & reflect local ecology	YES									
4P 4P-1 p117	PLANTING ON STRUCTURES Objective: Appropriate soil profiles are provided		✓								
	Design Guidance	Considered									
	Structures are reinforced for additional saturated soil weight	YES									
	Soil volume is appropriate for plant growth, including:										
	· Modifying depths & widths according to planting mix & irrigation frequency										
	· Free draining & long soil life span	YES									
	· Tree anchorage										
	Minimum soil standards for plant sizes should be provided in accordance with:										
	<table border="1"> <thead> <tr> <th>Site Area (sqm)</th> <th>Recommended Tree Planting</th> </tr> </thead> <tbody> <tr> <td>Up to 850</td> <td>1 medium tree per 50sqm of deep soil zone</td> </tr> <tr> <td>850 - 1,500</td> <td>1 large tree or 2 medium trees per 90sqm of deep soil zone</td> </tr> <tr> <td>Greater than 1,500</td> <td>1 large tree or 2 medium trees per 80sqm of deep soil zone</td> </tr> </tbody> </table>		Site Area (sqm)	Recommended Tree Planting	Up to 850	1 medium tree per 50sqm of deep soil zone	850 - 1,500	1 large tree or 2 medium trees per 90sqm of deep soil zone	Greater than 1,500	1 large tree or 2 medium trees per 80sqm of deep soil zone	
Site Area (sqm)	Recommended Tree Planting										
Up to 850	1 medium tree per 50sqm of deep soil zone										
850 - 1,500	1 large tree or 2 medium trees per 90sqm of deep soil zone										
Greater than 1,500	1 large tree or 2 medium trees per 80sqm of deep soil zone										
4P-2 p117	Objective: Plant growth is optimised with appropriate selection & maintenance		✓								

ADG Ref.	Item Description	Notes	Compliance
	Design Guidance		Considered
	Plants are suited to site conditions, considerations include:		
	· Drought & wind tolerance		
	· Seasonal changes in solar access		YES
	· Modified substrate depths for a diverse range of plants		
	· Plant longevity		
	A landscape maintenance plan is prepared		YES
	Irrigation & drainage systems respond to:		
	· Changing site conditions		
	· Soil profile & planting regime		
	· Whether rainwater, stormwater or recycled grey water is used		YES
4P-3 p117	Objective: Planting on structures contributes to the quality & amenity of communal & public open spaces		✓
	Design Guidance	Considered	
	Building design incorporates opportunities for planting on structures. Design solutions include:		
	· Green walls with specialised lighting for indoor green walls		
	· Wall design that incorporates planting		
	· Green roofs, particularly where roofs are visible from the public domain		
	· Planter boxes		
	Note: structures designed to accommodate green walls should be integrated into the building facade & consider the ability of the facade to change over time		
4Q 4Q-1 p119	UNIVERSAL DESIGN Objective: Universal design features are included in apartment design to promote flexible housing for all community members		✓
	Design Guidance	Considered	
	Developments achieve a benchmark of 20% of the total apartments incorporating the Livable Housing Guideline's silver level universal design features	All adaptable apartments have been designed to Livable Housing Design - Level Silver.	YES
4Q-2 p119	Objective: A variety of apartments with adaptable designs are provided		✓
	Design Guidance	Considered	
	Adaptable housing should be provided in accordance with the relevant council policy		YES



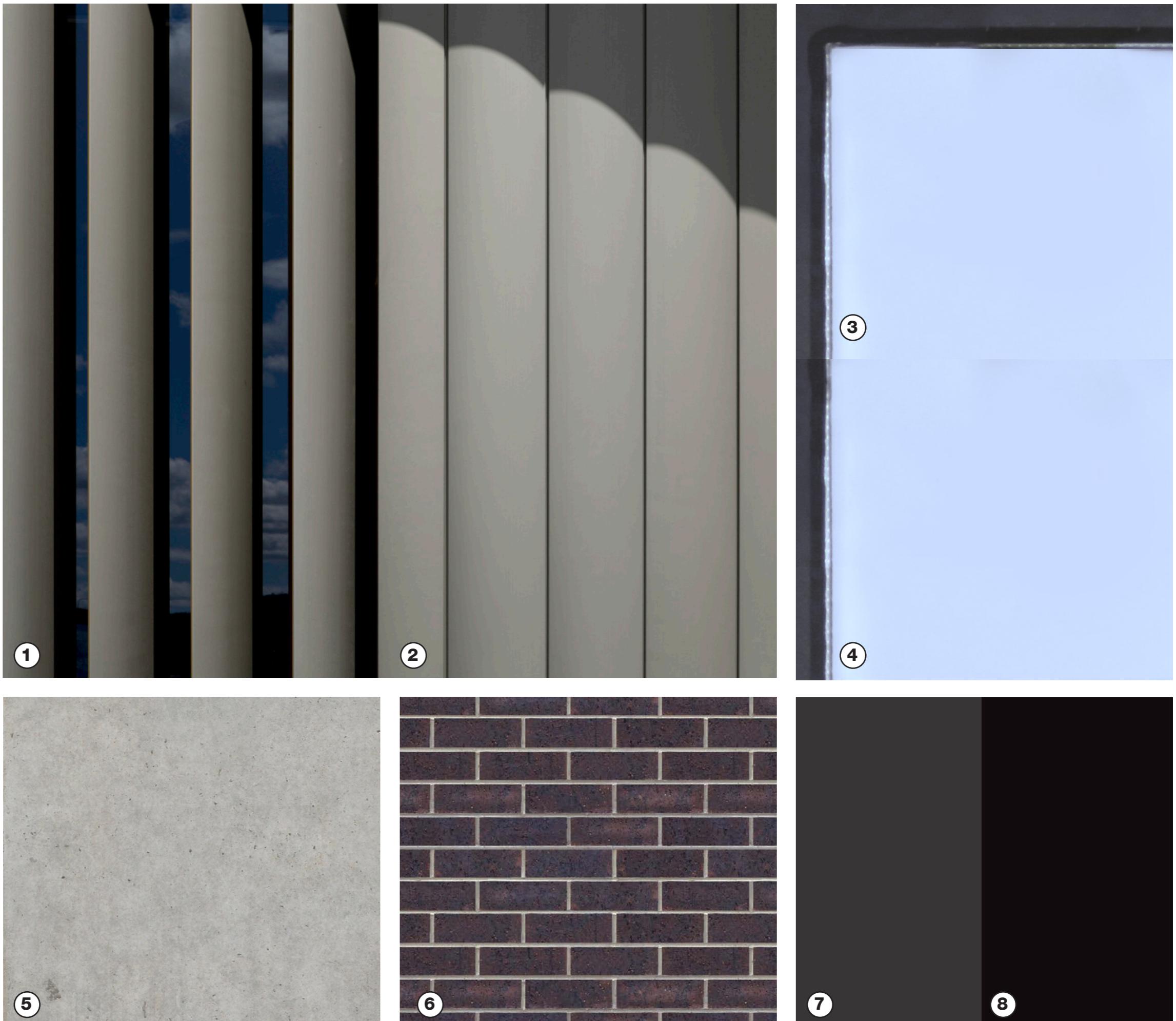
APPENDIX C

MATERIALS AND

FINISHES BOARD

MATERIALS

- 1 Metal- Sliver - Vertical Operable Louvres
- 2 Metal cladding - Sliver
- 3 Glass - Clear
- 4 Glass - Colourback
- 5 Concrete - Slab edges
- 6 Brick - Dark Blue/Grey
- 7 Metal cladding - Dark grey
- 7 Window frames / Palisade fencing - Dark grey





APPENDIX D

SOLAR ACCESS

**DEVELOPMENT APPLICATION
ADDITIONAL INFORMATION
MARCH 2018**

SOLAR ACCESS

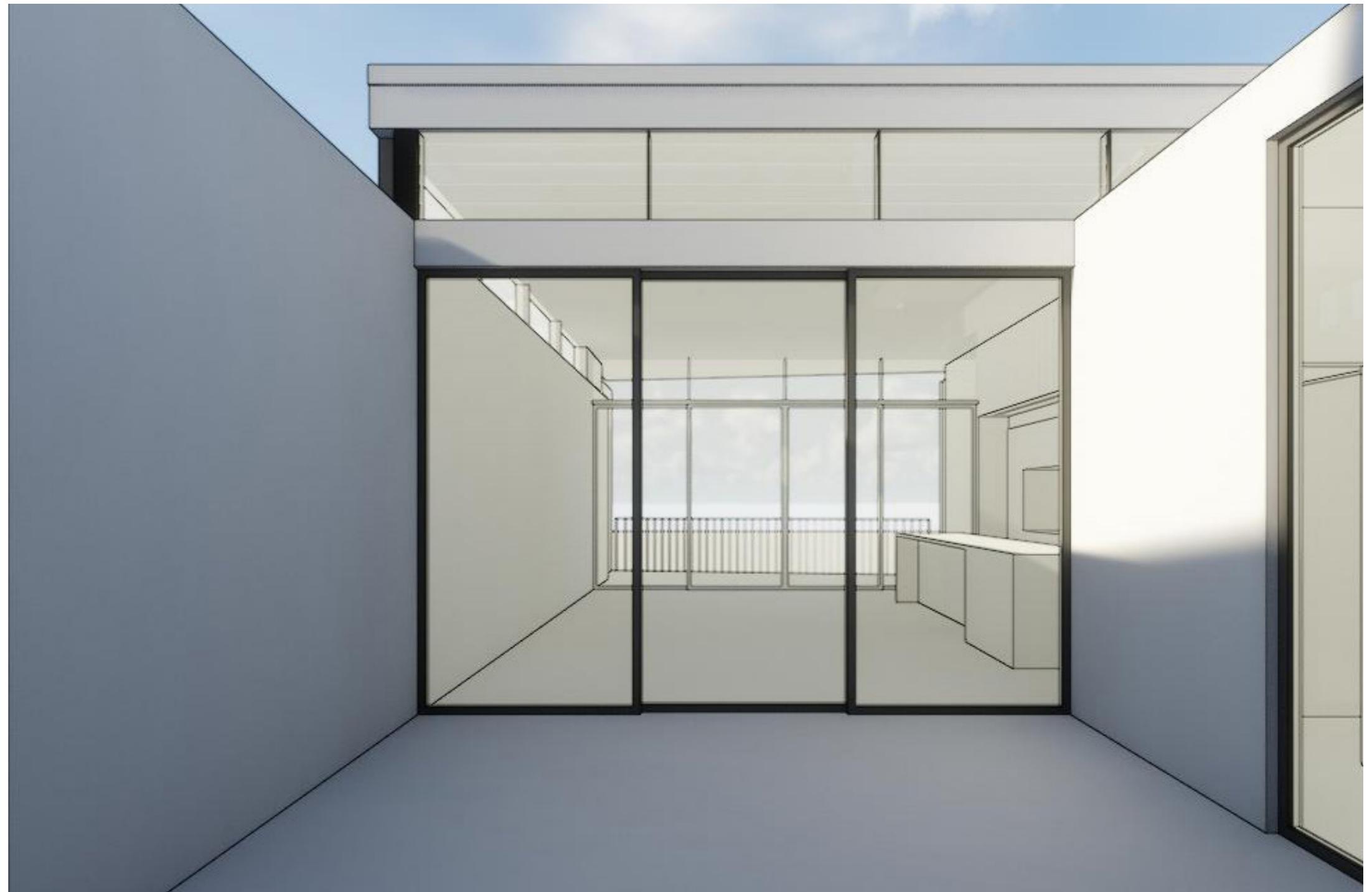
DEAP COMMENT

/ Confirm solar access to
Townhouses TH001-TH006

JUNE 21ST @ 10AM



Worst case Townhouse 06 shown

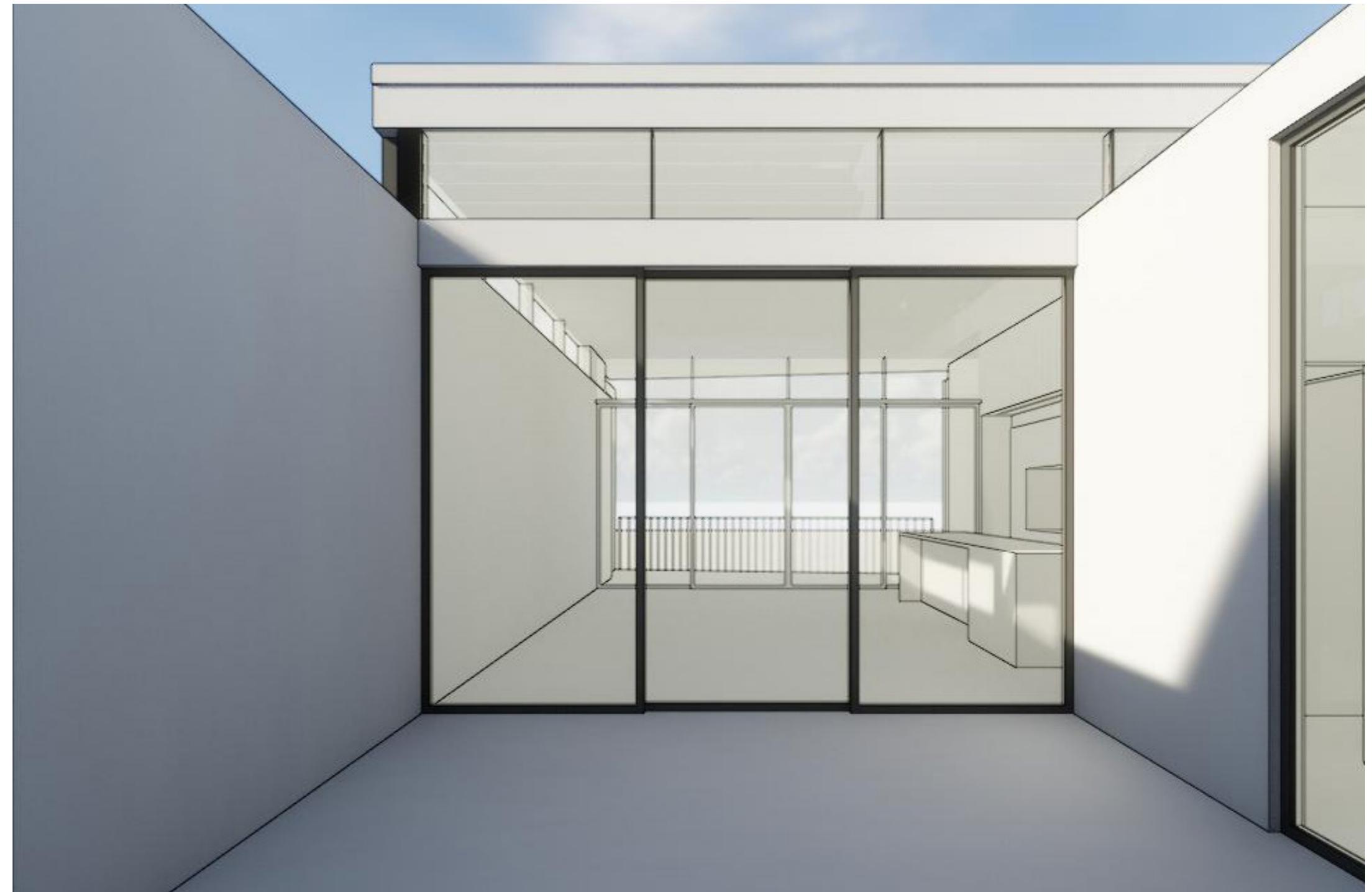


SOLAR ACCESS

JUNE 21ST @ 11AM



Worst case Townhouse 06 shown



SOLAR ACCESS

JUNE 21ST @ 12PM

